



Town of Watertown Connecticut
Conservation Commission/ Inland Wetland Agency
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5266
www.watertownct.org

**Conservation Commission / Inland Wetland Agency
Town of Watertown, Connecticut**

Application for Permit

Permit Application Number: _____

Property location: 110 Woodbury Road, Watertown, CT 06795-2100

INSTRUCTIONS

All applicants must complete Section 1 of this application form for preliminary review. If the Agency determines that the activity described constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section 1, the applicant may submit any other supporting documents or facts which may assist the commission in its evaluation of the proposal. Incomplete applications will be rejected by the commission.

1. **Name of Applicant:** TAFT SCHOOL (att: Jake Odden, Chief Financial Officer)
Business or Home Address: 110 WOODBURY ROAD, WATERTOWN, CT 06795-2100
Telephone #: (860) 945-7760 **Mobile#:** _____
Email: C/O jodden@taftschoool.org

2. **Applicant's Interest in Land:**
 Owner Lessee Contract Purchases Other – Please Describe

3. **Name of Property Owner:** TAFT SCHOOL (Attn: Jake Odden, Chief Financial Officer)
Address: 110 WOODBURY ROAD & 107 NORTH STREET, WATERTOWN, CT 06795-2100
Telephone #: _____ **Mobile** (860) 945-7760
Email: C/O jodden@taftschoool.org

B. Provide a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the requested activity. Attach drawings or diagrams which show the alternatives considered. [See attached Exhibit B2.](#)

C. Steps taken to avoid or minimize impacts to wetlands and upland review area. [See attached Exhibit B.3](#)

D. List any mitigation or enhancement measures if avoidance is not possible. [See attached Exhibit B.4](#)

E. Provide a report from a qualified soil scientist. [See attached Exhibit C.](#)

F. Describe the proposed erosion and sediment control plan. [See attached Exhibit D.](#)

PLEASE ANSWER THE FOLLOWING STATEMENTS

8. The applicant shall certify the following information by circling the appropriate word(s).

A. Traffic attributable to the completed project on the site (will/will not) use streets within an adjoining municipality to enter the site. YES OR NO

B. Sewer or water drainage from the project site (will/will not) flow through and impact the sewage or drainage system of another municipality. YES OR NO

C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality. YES OR NO

9. Complete the following section if the purpose of this application is to transfer, amend/ modify a previously issued permit:

A. Name of current permittee: _____

B. Agency number of existing permit: _____

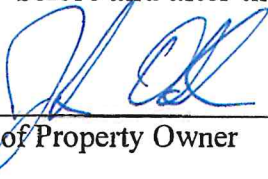
C. Initiation date of existing permit: _____

D. Expiration date of existing permit: _____

10. Complete the attached D.E.E.P. reporting form.

See form attached as Exhibit E

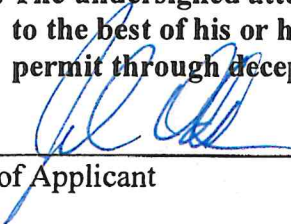
11. The undersigned hereby consents to necessary and proper inspections of above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.



Signature of Property Owner

Date:

12. The undersigned attest that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.



Signature of Applicant

Date:

Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: www.watertownct.org



SITE WALK/FIELD INSPECTION REQUIREMENTS

Dear Applicant/ Applicant Representative:

Please be advised that pursuant to Section 7 Article VII of the By-laws of Conservation Commission/ Inland Wetland Agency of Town of Watertown (the Agency) when the Agency determines that a field inspection/ site walk is appropriate, the Agency will set a time and place at the convenience of its members to gain on site knowledge of the proposed activities. The applicant or his agent/ representative, the design engineer and the Soil Scientist who delineated and flagged the wetlands/watercourses shall be present and the following shall be provided:

1. Adequate and safe access to the property
2. All wetlands and watercourses (permanent and intermittent) on the site shall be delineated and flagged by a certified Soil Scientist. Soil Scientist report shall be submitted with the application.
3. All building locations, access ways, onsite septic system locations and other regulated activities shall be marked on the site.
4. A copy of the proposed Site Plan shall be available on the site during the site walk/field inspection.

No testimony may be taken on the site walk/field inspection by the Commission.

Signature of Applicant:..... **Date:**.....

Signature of Property Owner:..... **Date:**.....

IWA Exhibit A
GIS Location Map
1" = 200'

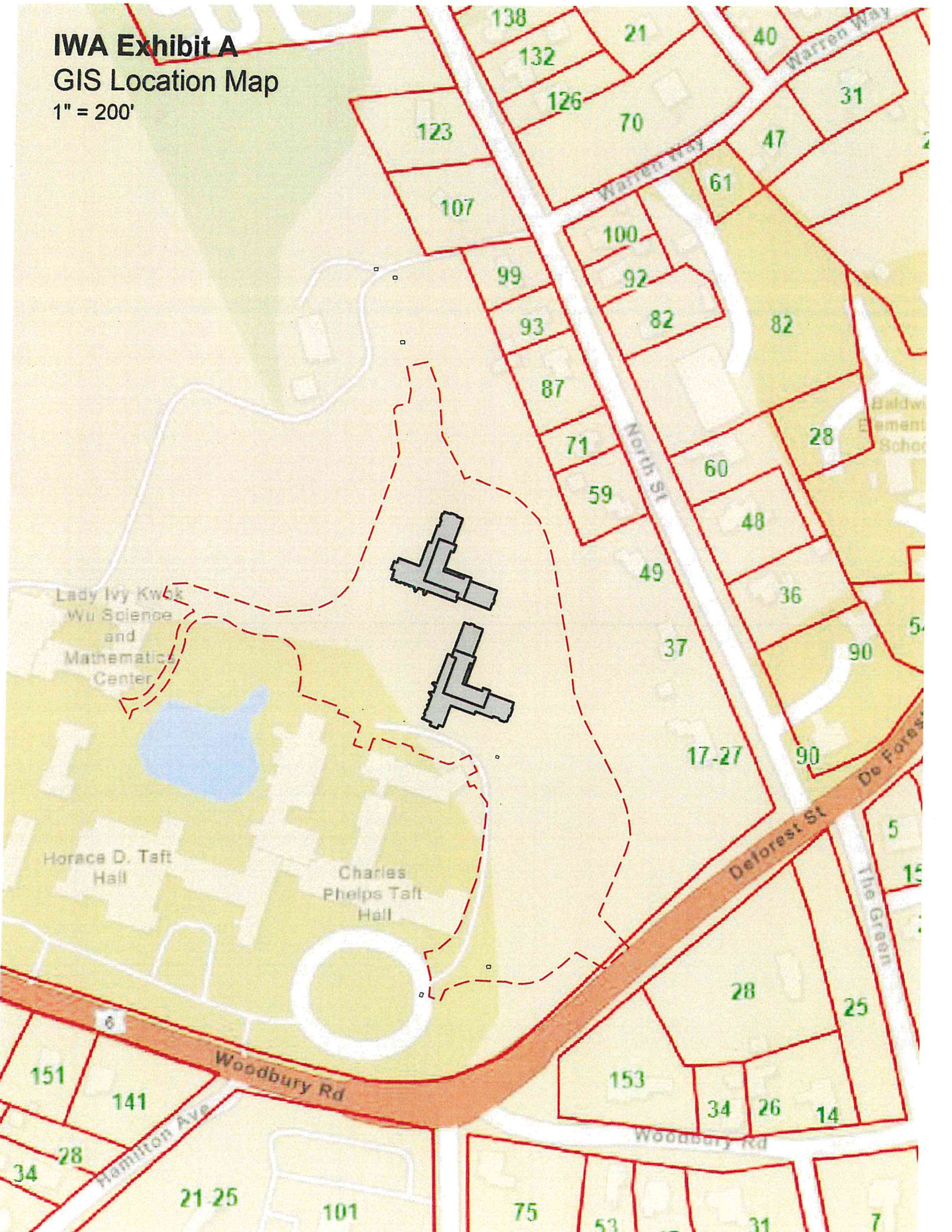


Exhibit B – Purpose and Description of the Proposed Activities, Use or Operation

Taft School Student Dormitories IWA Application

01-21-26

B1: Description of Proposed Activities

The applicant proposes construction of two new dormitory buildings for boarding students and day students along with associated site improvements and utility infrastructure. Total student population is not anticipated to change, however, there may be a slight shift in the balance from day students to boarding students. Work includes demolition or modification of existing site improvements such as parking areas, walkways, a softball field and site utilities.

New construction includes two new buildings (footprints of 10,546 sf each), walkways and quadrangle amenities, a new paved one-way access drive from the main campus arrival circle to the school's central plant area, relocated and new parking areas, utility services to the new buildings, including geothermal well fields, grading, landscaping and stormwater management improvements, such as rain gardens & chambered collection systems. Grade elevations have been set to provide a high level of connectivity and accessibility for pedestrians to existing campus walkway systems.

No disturbance is proposed within wetlands or watercourses. Work within the Regulated Upland Area ("RUA") is limited to new grading & filling, sidewalks & site light fixtures, stormwater discharge piping and a small segment of stormwater collection chambers, connections to existing piped systems, and a small number of geothermal wells (and related piping).

The proposed site grading within the RUA will require the import and placement of structural fill (approximately 2,000 cubic yards) below the building slabs and clean, open-graded gravels as subbase for the proposed walkways (approximately 250 cubic yards). Clean crushed stone will be used for the construction of the underground stormwater management area for the roof area drainage (approximately 750 cubic yards).

Area of wetland and watercourse disturbance equals 0 SF. Disturbance in the RUA equals 32,670 SF (0.75 acres)

B2: Alternatives to Proposal

- A. Consideration was given to the exclusive use of surface basins for stormwater management, however, the area required and overall disturbance within both the RUA and overall site would be greater than the applicant's proposal.

- B. Elimination of walkways within the RUA would result in longer pedestrian routes; students and faculty would likely develop incidental, unmaintainable travel paths over existing lawn areas resulting in on-going surface disturbance.
- C. Reducing the proposed building program would result in a project that does not satisfy the standards for housing (quantity and location) for the school in the context of long-range programming of school operations. Reducing footprint area through the addition of even more building stories is also not an available building strategy.

B3: Steps Taken to Avoid or Minimize Impacts

The project area is as compact and efficient as possible to minimize encroachment within regulated areas. Proposed new buildings are multi-story to blend with the existing campus character and minimize the necessary building footprint. Provisions for parking are limited to minimum necessary to support the faculty apartments only as student parking in this area will not be permitted.

Retaining walls are utilized to reduce project impact area compared to open slopes.

Stormwater discharge systems release to the first practical point in conveyance systems upstream from watercourses or waterbodies. The rate of runoff from the project area to discharge points has been managed to be less than existing conditions.

Disturbed surfaces will be replaced by new stable pavements (walkways), new landscape bed treatments or lawn, to be seeded as if new.

During construction, the site will be secured by a full complement of soil erosion and sediment controls as illustrated on the accompanying site plan drawings.

B4: Mitigation or Enhancement Measures

Stormwater water quality treatment is provided throughout the stormwater management systems by low-impact development (lid) strategies such as rain gardens, small surface stormwater management areas, and chambered collections systems, each of which contributes to rate reduction and water quality treatment.

Landscape treatments for the project provide for more diverse environments and flora than existing conditions (game field turf). In turn, this will create new habitat and foraging opportunities in an area where they do not presently exist.

Soil Resource Consultants

P.O. Box 752

Meriden, CT 06450

January 14, 2026

SRC Job No. 25-14

Henry Thomas, Principal, RL
LRC Group
160 West Street, Suite E
Cromwell, CT 06416

Dear Mr. Thomas:

**Re: Wetland Delineation – New Dormitory Project – Taft School – Rte 6, Woodbury Rd.
Watertown, CT**

At your request, I have completed an onsite investigation of this site. The purpose of my investigation was to identify and delineate the onsite inland wetlands and watercourse boundaries. The field work was completed on October 11, 2025.

The wetland and watercourse boundaries were marked with blue plastic flagging numbered **WF -1** through **WF-21** in the area of the existing Pond and **WF-1 to WF-10** and **WF-100 through WF-114** along the watercourse channel to the north. Please refer to the enclosed sketch for the approximate location of the inland wetland and watercourse boundaries and selected wetland flag numbers. The sketch is not drawn to scale but is a field drawn representation of wetland and watercourse configurations. Flag numbers at property lines and other readily identifiable landmarks can be used to locate wetland lines in the field.

The wetland soil map prepared for this site is a refinement of data found in the **Soil Survey of Litchfield County**. Each map unit is composed of a unique combination of soils. Areas with the same symbol have a similar soil composition.

The map units described below are based on data collected at this particular site. Soil surveys in Connecticut were originally conducted for primarily agricultural purposes and do not provide site specific information. The minimum area delineated on a soil survey map sheet is approximately 2-3 acres in size. For this reason there may be some differences between the following information and that published in the Soil Survey.

INLAND WETLAND SOILS

The identification of inland wetland areas on this site is based on my field observations of test borings and the guidelines of the **National Cooperative Soil Survey Program**. Test borings were done using a shovel and or hand auger.

In Connecticut, inland wetland soil categories include poorly drained soils, very poorly drained soils, alluvial and flood plain soils.

Aq

The **Aq** map unit consists primarily of disturbed soil materials with poorly drained characteristics generally less than 20 inches down from the existing soil surface. The natural soil profile has been disturbed by previous filling and or grading activities. Classification into natural soil map units is not possible. This map unit is referred to taxonomically as - Aquents.

Pond

This map unit consists of an existing open water body that is either natural or manmade in origin. The limits of the pond generally follow the edge of the existing or normal water level.

WC

The **WC** designation refers to the existence of a watercourse on the subject property. The watercourse is a well defined channel or ditch area that conveys excess surface water runoff from its drainage area as well as groundwater seepage areas and or inland wetland soil areas.

NON-WETLAND SOILS

The non-wetland soils were not studied or mapped in detail. Some observations were made of these soils during the process of identifying the inland wetland areas. Random soil boring locations were flagged with pink & black stripped plastic ribbon. The following map unit descriptions do not constitute a detailed soil investigation of these upland areas, but may be used as a guide in site planning.

Hk (38)

The **Hk** map unit consists primarily of Hinckley soils on 3 to 15 percent slopes. Hinckley soils are very deep and excessively drained. These soils formed in glacial outwash materials. Typically Hinckley soils have gravelly sandy loam surface and subsoil layers overlying stratified sand and gravel to a depth of 60 inches or more.

Ud (306)

The **Ud** map unit consists of moderately well to well drained disturbed soils. It is composed of filled areas and areas consisting of both cut and fill. Soils in this map unit have been extensively disturbed by grading and filling activities associated with the existing developed/altered portions of this site.

Classification into natural soil units is impossible. This map unit is referred to taxonomically as Udorthents. Original diagnostic soil horizons are not present. Soils in this map unit have a wide range of characteristics. Textures are predominantly gravelly fine sandy loams. Permeability can be variable due to the lack of soil profile structure caused by the grading activities.

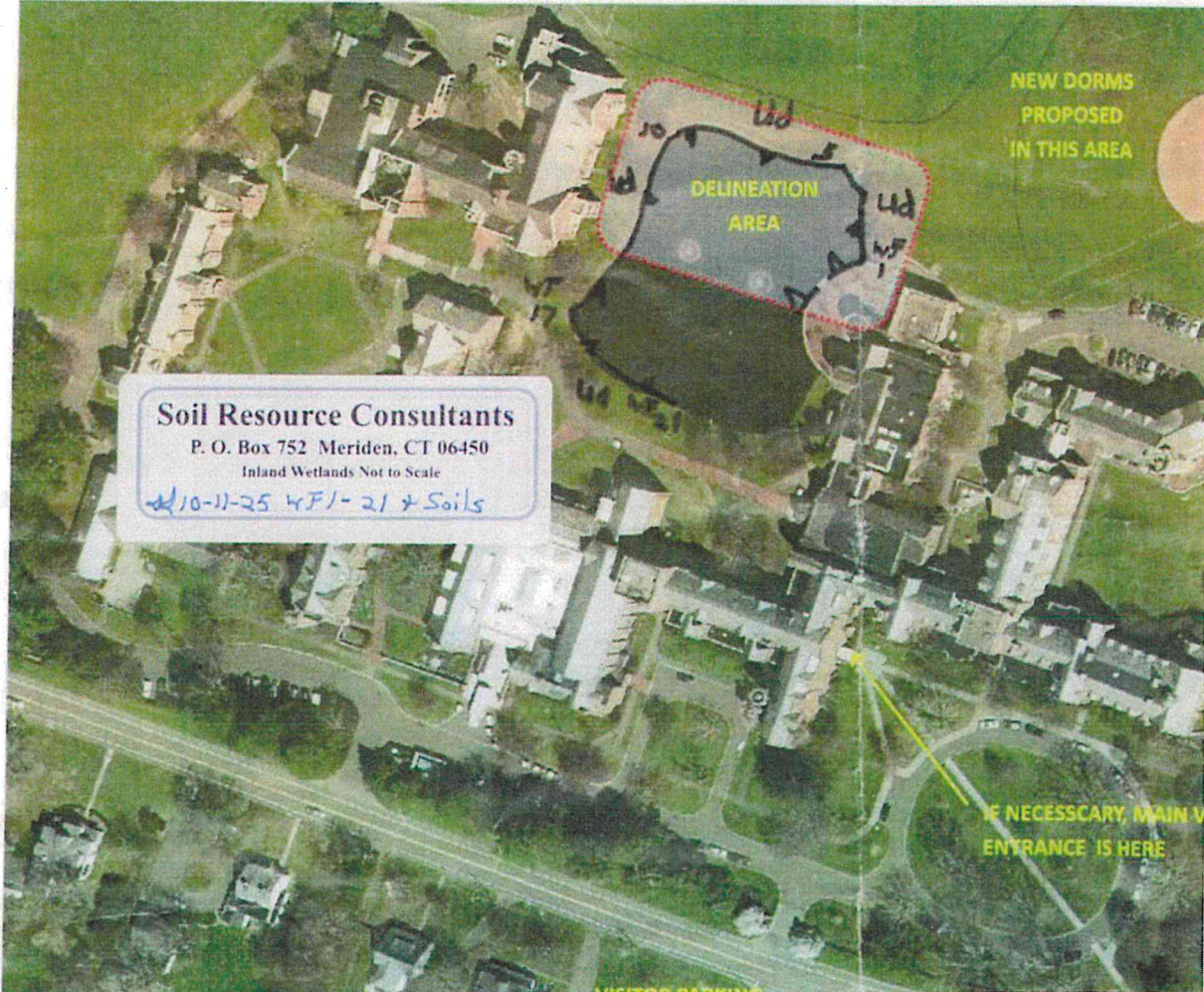
If you have any questions regarding this report, or need additional assistance with this site, please contact me. Environmental planning and wetland impact evaluation services are also available upon request. I am available to attend Inland Wetland Commission meetings and site walks.

Sincerely,

A handwritten signature in black ink, appearing to read "David H. Lord". The signature is written in a cursive, flowing style.

David H. Lord
Certified Soil Scientist
& Environmental Consultant

**Dormitory Project
Taft School
Watertown, CT**



**Dormitory Project
Taft School
Watertown, CT**



Exhibit D – Description of Erosion Controls

Taft School Student Dormitories IWA Application

01-21-26

During construction, the following erosion control measures shall be implemented:

1. **Stone Construction entrance:** The stone construction entrance shall be installed at the access point to the project area on the north side of the campus near the existing power plant building. The construction entrance is a stone pad intended to cause sediment to be removed from vehicle tires and prevent it from being tracked onto adjoining surfaces.
2. **Silt fence:** The silt fence shall be installed downgradient from any earth disturbing activities to filter surface stormwater flow.
3. **Temporary sediment trap:** The temporary sediment trap is an excavated area used for the temporary ponding of silt laden runoff to allow the sediment to settle out. The temporary sediment trap is located on the north side of the project area.
4. **Water bar:** A water bar is a temporary earthen channel to divert water away from the project area and/or move silt laden flow to a temporary sediment trap. A proposed water bar is shown on the east and west side of the project area.
5. **Inlet Protection:** The plan shows the installation of silt sacks or approved equal to be installed in or around the catch basin grates (existing & proposed).
6. **Concrete washout:** The plans provide information for the contractor to provide an area for concrete washout.

The proposed erosion control measures to be installed are shown on the construction detail plans and the location are shown on the Erosion Control Plans.



STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only** the **completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING

THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Use a separate form to report EACH action taken by the Agency. Complete this electronic fill-in form as described below. If completing by hand please print and use the PDF version. Do NOT submit a reporting form for withdrawn actions.

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
 - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B = Any Permit Denied by the Inland Wetlands Agency
 - C = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
 - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the CT Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn [CLEAR's website](#): (no roads depicted) or at [CTECO](#) (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N."

- | | |
|---|---|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of concept, subdivision or similar plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the action/project/activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|---|--|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction (including related culverts) |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body." For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream." Remember, these figures represent only the acreage altered, not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses. For created - question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions.
If completing by hand - please print and use the [pdf version](#).
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: [Click Here for Year](#) month: [Click Here for Month](#)
- CHOOSE ACTION TAKEN (see instructions for code): [Click Here to Choose a Code](#)
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (type name): Watertown
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): [USGS quad map name](#): Waterbury or [quad number](#): 64
[subregional drainage basin number](#): -691200
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Taft School
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (type information): 110 Woodbury Road
briefly describe the action/project/activity (check and type information): temporary permanent description: Site grading, utilities & drainage for residential dorm project
- ACTIVITY PURPOSE CODE (see instructions for code): D
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 12, Click for Code, Click for Code
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, type acres or linear feet as indicated):
wetlands: 0.00 acres open water body: 0.00 acres stream: 0.00 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.75 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

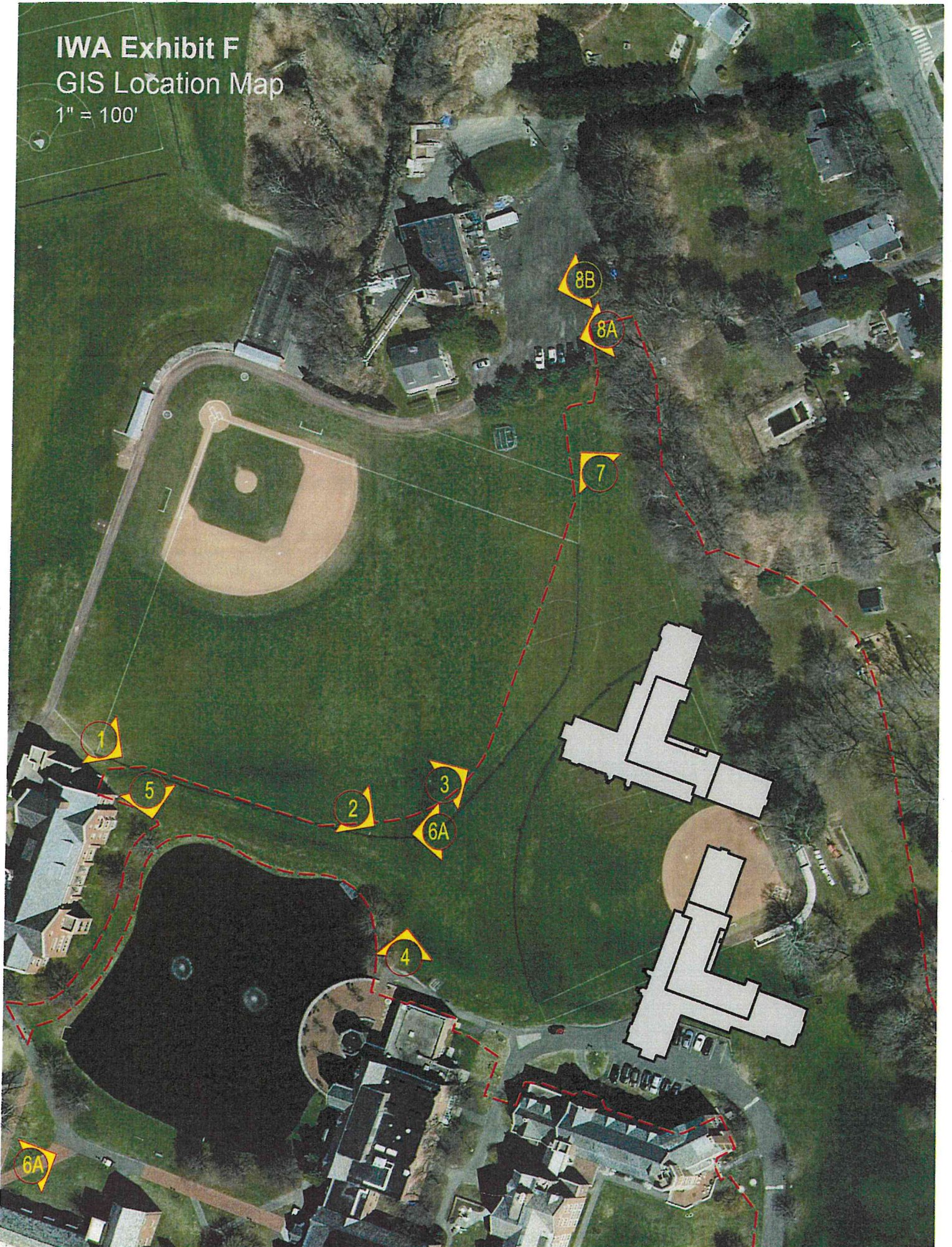
DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

IWA Exhibit F GIS Location Map

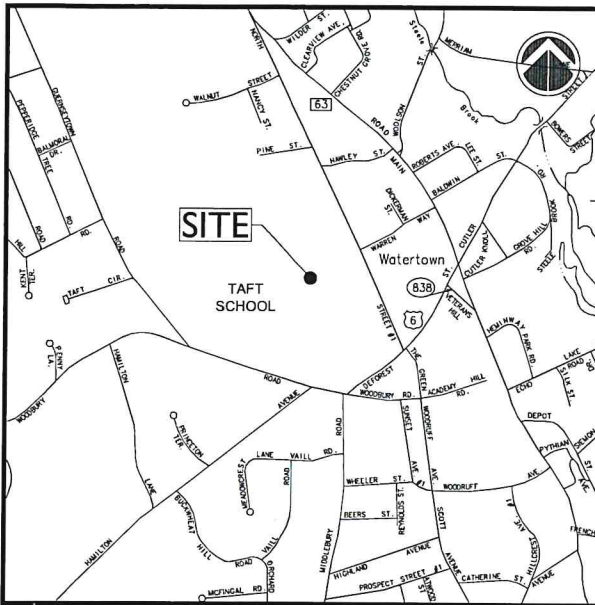
1" = 100'



STUDENT DORMITORY PROJECT THE TAFT SCHOOL

110 Woodbury Road
WATERTOWN, CONNECTICUT

CONSERVATION COMMISSION / INLAND WETLAND AGENCY APPLICATION



VICINITY MAP

SCALE: 1"=1,000'

OWNER / APPLICANT:

TAFT SCHOOL
110 WOODBURY ROAD
WATERTOWN, CT 06795-2100
PHONE: 860.945.7760

ARCHITECTURE:

VOITH & MACTAVISH ARCHITECTS LLP
2401 WALNUT STREET, 6TH FLOOR
PHILADELPHIA, PA 19103
PHONE: 215.545.4544

STRUCTURAL ENGINEER:

KEAST & HOOD
1635 MARKET STREET #1705
PHILADELPHIA, PA 19103
PHONE: 215.625.0099

MEP ENGINEER:

KOHLER RONAN CONSULTING ENGINEERS
93 LAKE AVENUE
DANBURY, CT 06810
PHONE: 203.778.1017

LANDSCAPE DESIGN:

TL STUDIO
110 KING PHILIP ROAD UNIT 2A
RUMFORD, RI 02916
PHONE: 401.383.3574

AV/IT/SECURITY

NVS
1315 WALNUT STREET #900
PHILADELPHIA, PA 19107
PHONE: 215.751.1133

LIGHTING DESIGN

O'DONOHUE LIGHTING
1816 S. 2ND STREET
PHILADELPHIA, PA 19148
PHONE: 215.518.4788

CIVIL ENGINEER:



- Civil Engineering
- Land Surveying
- Landscape Architecture
- Land Planning
- Laser Scanning & BIM
- Subsurface Utility Engineering

Land Resource Consultants
Engineering & Surveying, LLC

160 West Street, Suite E
Cromwell, CT 06416
(860) 435-2877

85 Civic Center Plaza, Suite 204
Poughkeepsie NY 12601
(845) 243-2880

www.lrcconsult.com



LOCATION MAP

SCALE: 1"=200'

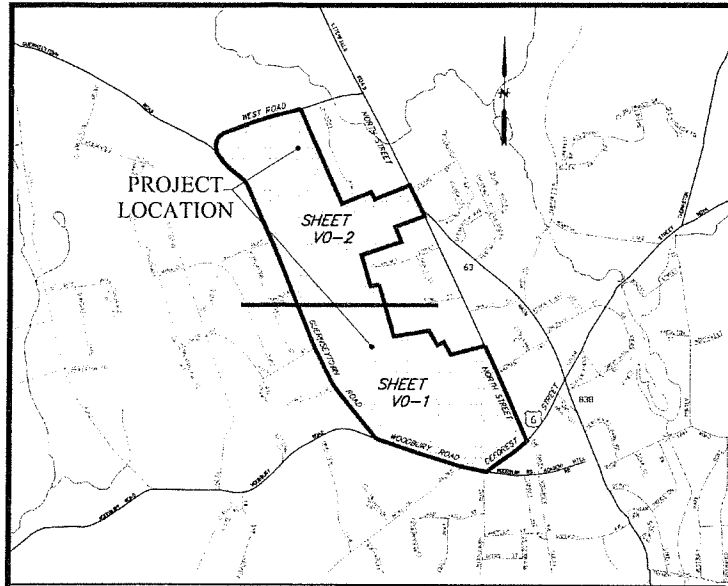
INDEX OF DRAWINGS

	COVER SHEET
V01 & V02	BOUNDARY SURVEY
EX-1 THRU EX-9	TOPOGRAPHIC SURVEY
L1.0	OVERALL LANDSCAPE PLAN
L1.1	DORM 1 & 2 LAYOUT & MATERIAL PLAN
L1.2	MAIN CIRCLE LAYOUT & MATERIALS PLAN
L2.0	DORM 1 & 2 GRADING PLAN
L2.1	MAIN CIRCLE GRADING PLAN
L3.0	DORM 1 & 2 PLANTING PLAN
L3.1	MAIN CIRCLE PLANTING PLAN
L4.0	SECTIONS
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	ATTIC FLOOR PLAN
A1.6	ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	ELEVATIONS
A3.4	ELEVATIONS
C1.1	DORM 1 & 2 DEMOLITION PLAN
C1.2	DORM 1 & 2 DEMOLITION PLAN
C1.3	DORM 1 & 2 DEMOLITION PLAN
C2.1	DORM 1 & 2 DRAINAGE PLAN
C2.2	DORM 1 & 2 DRAINAGE PLAN
C2.3	DORM 1 & 2 DRAINAGE PLAN
C3.1	DORM 1 & 2 SITE UTILITIES PLAN
C3.2	DORM 1 & 2 SITE UTILITIES PLAN
C3.3	DORM 1 & 2 SITE UTILITIES PLAN
C4.1	DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN
C4.2	DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN
C4.3	DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN
C5.1	DORM 1 & 2 CONSTRUCTION DETAILS
C5.2	DORM 1 & 2 CONSTRUCTION DETAILS
C5.3	DORM 1 & 2 CONSTRUCTION DETAILS
C5.4	DORM 1 & 2 CONSTRUCTION DETAILS
LI-1.0	SITE LIGHTING PLAN
LI-1.1	NORTH SITE LIGHTING PLAN PHOTOMETRY
LI-1.2	SOUTH SITE LIGHTING PLAN PHOTOMETRY
LI-2.0	LIGHTING FIXTURE DETAILS

ZONING SUMMARY TABLE

ZONING INFORMATION			
PARCEL SIZE	165.76 ACRES (Referenced from the town GIS)		
ASSESSOR'S LOCATION	MAP 99 BLOCK 58 LOT 7		
ZONING DISTRICT	R-20 DISTRICT		
PROPOSED USE	STUDENT DORMITORY PROJECT		
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	7,220,506 SF	7,220,506 SF
MINIMUM FRONTAGE	75 FT	3,309 FT	3,309 FT
BUILDING SETBACKS			
FRONT YARD	25 FT	36.4 FT	408.9 FT
SIDE YARD	20 FT	20 FT	186.1 FT
REAR YARD	50 FT	50 FT	872.9 FT
MAXIMUM BUILDING HEIGHT (FEET)	35 FT	**54 FT	**54 FT
MAXIMUM BUILDING HEIGHT (STORIES)	3	*	**
MAXIMUM BUILDING COVERAGE	15%	4.3%	4.6%
MAXIMUM IMPERVIOUS SURFACE COVERAGE	25%	8.6%	9.5%

* Received a variance for building height for the John L. Vogelstein Dormitory building
** A text amendment to the zoning regulations is proposed.



KEY MAP AND INDEX PLAN - N.T.S.

SEE SHEET VO-2

SEE SHEET VO-2

MAP REFERENCES:

1. "PROPERTY OF HOWARD M. HICKCOX WATERTOWN, CONN. SECTION NO. 1" SCALE 1"=40' DATE MARCH 28, 1925 BY BRADSON E. LOCKWOOD
2. "MAP OF LAND BELONGING TO MRS. ELLEN H. SCOVILL WATERTOWN, CONN" SCALE 1"=80' DATE MARCH 1925 BY WILLIAM D. REYNOLDS
3. "MAP OF SECTION ONE CLOVERDALE BELONGING TO EDWARD & BERTHA MARI WATERTOWN, CT." SCALE 1"=10' DATE APRIL 1949 BY ARTHUR N. WOOD
4. "PROPERTY OF ORIS AND DORIS W. SALVATORE WATERTOWN, CONN." SCALE 1"=20' REVISED MARCH 1951 BY WILLIAM B. REYNOLDS
5. "PLAN OF WALNUT ACRES SECTION NO. 1 OWNED AND DEVELOPED BY ALFONCE AND JOHN KONTOUT WATERTOWN, CONN." SCALE 1"=30' DATE NOVEMBER 1951 BY B.E. LOCKWOOD
6. "SECTION NO. 2 PLAN OF WALNUT ACRES OWNED AND DEVELOPED BY WATERTOWN CONSTRUCTION CO INC. WATERTOWN, CONN." SCALE 1"=30' DATE SEPTEMBER 1952 BY B.E. LOCKWOOD
7. "MAP REVISING A PORTION OF SECTION ONE-CLOVERDALE BEING LAND OF ANDREW AND SOPHIE KUSARA" SCALE 1"=50' DATE NOVEMBER 1982 BY HARRY G. OWENS, JR.
8. "SUBMISSION PLAN LAND OF THE TAFT SCHOOL CORPORATION OWNER: THE TAFT SCHOOL CORP. 110 WOODBURY ROAD WATERTOWN, CONN" SCALE 1"=40' DATE JUNE 1976 BY L.T. SCOTT-SMITH CO.
9. "PORTION OF PROPERTY OF THE TAFT SCHOOL CORPORATION WOODBURY ROAD AND DEFOREST STREET WATERTOWN, CT." SCALE 1"=100' DATE 5/9/90 BY H.W. HART
10. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN - WOODBURY ROAD FROM THE WOODBURY TOWN LINE EASTERLY TO GUERNSEYTOWN ROAD ROUTE U.S. 6" SCALE 1"=40' DATE SEPTEMBER 28, 1934
11. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN WOODBURY ROAD FROM THE INTERSECTION OF THOMASTON & WATERTOWN ROADS WESTERLY ABOUT 1,650 FEET ROUTE U.S. 6" SCALE 1"=40' DATE FEB. 14, 1934
12. "TOWN OF WATERTOWN MAP SHOWING LAND RELEASED TO BANK OF BOSTON CONNECTICUT BY THE STATE OF CONNECTICUT U.S. ROUTE 6" SCALE 1"=40' DATE JANUARY 1988
13. "ZONING LOCATION SURVEY - PROPOSED PREPARED FOR DIANE E. & GREGORY CHERE 87 NORTH STREET WATERTOWN, CT" NOVEMBER 6, 2004 SCALE 1"=20' BY DAVID A. HUGHES

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998.
2. THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY, AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO ALL MONUMENTATION.
3. BOUNDARY DETERMINATION IS BASED ON A DEPENDENT RESURVEY.
4. THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWALL COMPANY AERIAL PHOTOGRAMMETRY DATED 6/12/2008
7. ADJUTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY.
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

SEE SHEET VO-2 FOR LEGEND

No.	DATE	DESCRIPTION	BY
1.			

PROJ. MANAGER:	
CHIEF DESIGNER:	
REVIEWED BY:	
DATE:	

SEAL	
SEAL	



TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

David A. Caricchio
 DAVID A. CARICCHIO 70036
 LICENSE No.

SCALE:	HORZ. 1" = 100'
	VERT.:
DATUM:	HORZ.: NAD 83
	VERT.:
100 50 0 100 GRAPHIC SCALE	

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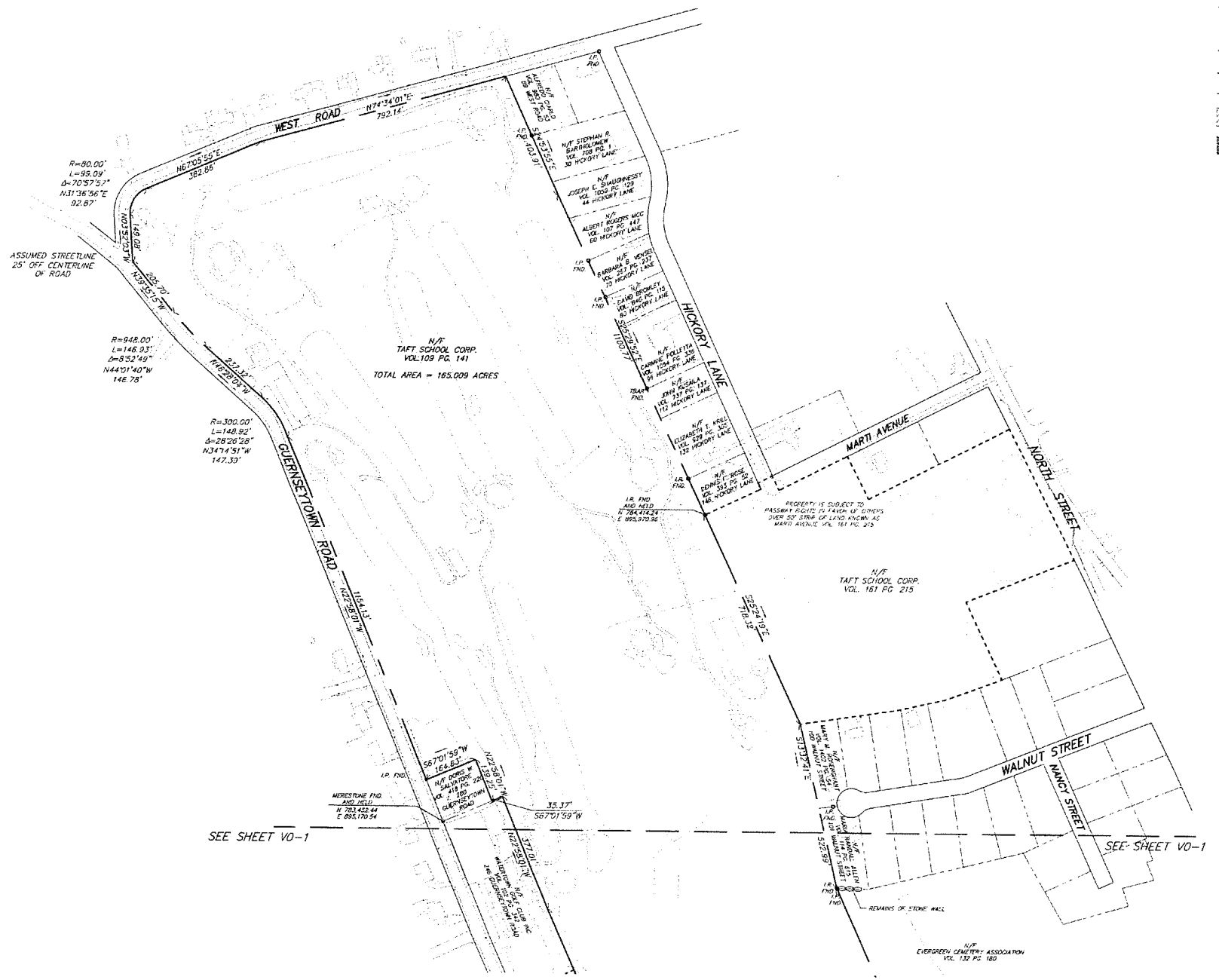
146 HARTFORD RD MANCHESTER, CT 06040 860.646.2469

BOUNDARY SURVEY
 OF A PORTION OF THE
 TAFT SCHOOL MAIN CAMPUS

110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: 95023.V20
DATE: 7/31/08
V0-1

File Path: H:\DWG\IP\95023\2008\01.dwg, Layout: Boundary Sh 2 Thu, Jul 31, 2008 - 2:56 PM User: DaveC
 CTB: F & O STANDARD
 LMAN: END
 LUCS: WOKUL
 JMS: VIEW: V02



LEGEND

- UTILITY POLE
- SIGN
- GAS GATE
- LIGHT
- EXISTING IRON PIPE
- EXISTING MONUMENT
- — — — — TAFT SCHOOL PROPERTY INCLUDED IN THIS SURVEY
- - - - - TAFT SCHOOL PROPERTY NOT INCLUDED IN THIS SURVEY
- — — — — ABUTTING PROPERTY OWNERS
- — — — — STREET LINE
- — — — — EASEMENT LINE
- — — — — EDGE OF WATER
- — — — — TREE LINE
- — — — — STONE WALL
- — — — — CHAIN LINK FENCE
- — — — — STOCKADE FENCE
- — — — — EASEMENT ON TAFT SCHOOL PROPERTY
- — — — — EXISTING BUILDING ON TAFT SCHOOL PROPERTY

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
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5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWALL COMPANY AERIAL PHOTOGRAMMETRY DATED 6/12/2008.
7. ABUTTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY.
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

SEE SHEET V0-1 FOR MAP REFERENCES

No.	DATE	DESCRIPTION	BY
1			

PROJ. MANAGER:	SEAL
CHIEF DESIGNER:	SEAL
REVIEWED BY:	
DATE:	

TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

DAVID A. CARICCHIO
70036
LICENSE No.

SCALE:
 HORIZ: 1" = 100'
 VERT: 1" = 100'
 DATUM: HORIZ: NAD 83
 VERT: NAD 83

GRAPHIC SCALE

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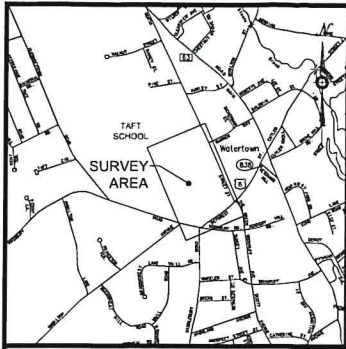
146 HARTFORD RD
MANCHESTER, CT 06040
860.646.2469

BOUNDARY SURVEY
 OF A PORTION OF THE
 TAFT SCHOOL MAIN CAMPUS

110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: 95023.V20
 DATE: 7/31/08

V0-2



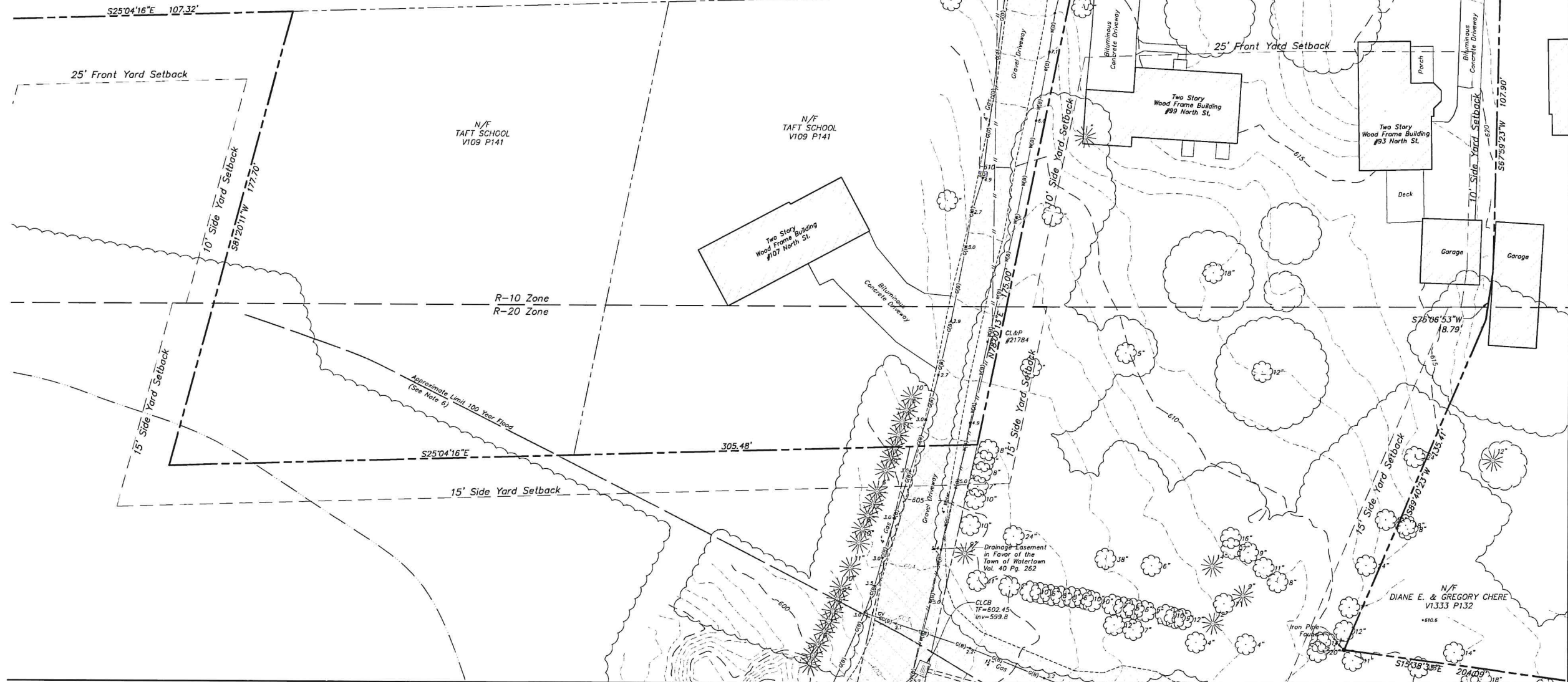
Vicinity Map
Scale 1"=1,500'



Key Map
Scale 1"=500'

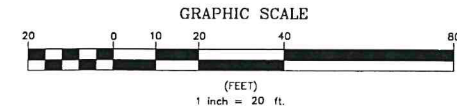
Map Notes

- This map and survey have been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300a-1 through 20-300a-20, "Minimum Standards of Accuracy, Content and Certification for Surveys and Maps", effective June 21, 1996, amended October 26, 2018.
The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Topographic Survey and is intended to note or depict the existing site conditions within the project area with respect to existing physical features such as structures, parking areas, sidewalks, fences, walls, ball fields, trees, spot elevations and contours.
The contour interval is one (1) foot.
There is no boundary determination/opinion.
Property lines depicted hereon are approximate and do not represent a property/boundary opinion. The approximate property line information was compiled from the map referenced in note 4A. It is not to be construed as having been obtained as the result of a field survey, and is subject to change based on such facts as an accurate field survey may disclose.
This survey conforms to Horizontal Accuracy Class D & A-2.
This survey conforms to Topographic Survey Accuracy Class T-2.
This survey conforms to Vertical Accuracy Class V-2.
Aerial survey was flown on October 27, 2025.
Field survey was completed on December 12, 2025.
- North arrow and bearings are referenced to the North American Datum (NAD) of 1983 projected onto the Connecticut State Plane Coordinate System based on the averaged values of multiple GPS observations made on GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Elevations and contours are referenced to North American Vertical Datum (NAVD) of 1983 based on the averaged values of multiple GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Reference is made to the following maps:
A. "Boundary Survey of a Portion of the Taft School Main Campus, 110 Woodbury Road, Watertown, Connecticut", scale 1"=100', dated July 31, 2008, revised September 30, 2008, prepared by Fuss & O'Neill.
- Parcel is identified as Tax Block 58, Lot 7 on the Town of Watertown Assessor's Map 59.
- Portion of the property is located in Zone "B" (areas between 100-year and 500-year flood or area subject to 100-year flood with depths average less than 1 foot) and Zone "C" (areas of minimal flooding) as depicted on Flood Insurance Rate Map (FIRM) Panels 5 & 6 of 11, Litchfield County, Connecticut, Town of Watertown, community number 090058, with an effective date of November 5, 1980.
- The subsurface utilities depicted hereon conform to the following Utility Quality Levels, as defined by the American Society of Civil Engineers (ASCE) in Document C/ASCE 38-02 titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data".
The contractor is required to utilize the local utility one call system prior to excavation for the purpose of verifying the subsurface utilities in the area.
See Utility Quality Levels legend on Sheet EX-2.



MATCHLINE SEE SHEET 2 of 9

MATCHLINE SEE SHEET 4 of 9



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



Legend	
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main
	Concrete Surface
	Gravel Surface
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	Coniferous Tree
	Electric Line
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	Fiber Optic Line
	Stream Line
	Site Light Line
	Overhead Wire
	Catch Basin
	Curbside Catch Basin
	Irrigation Control Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	Now or Formerly (in Title of)
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

Deed References
Volume 109 Page 141

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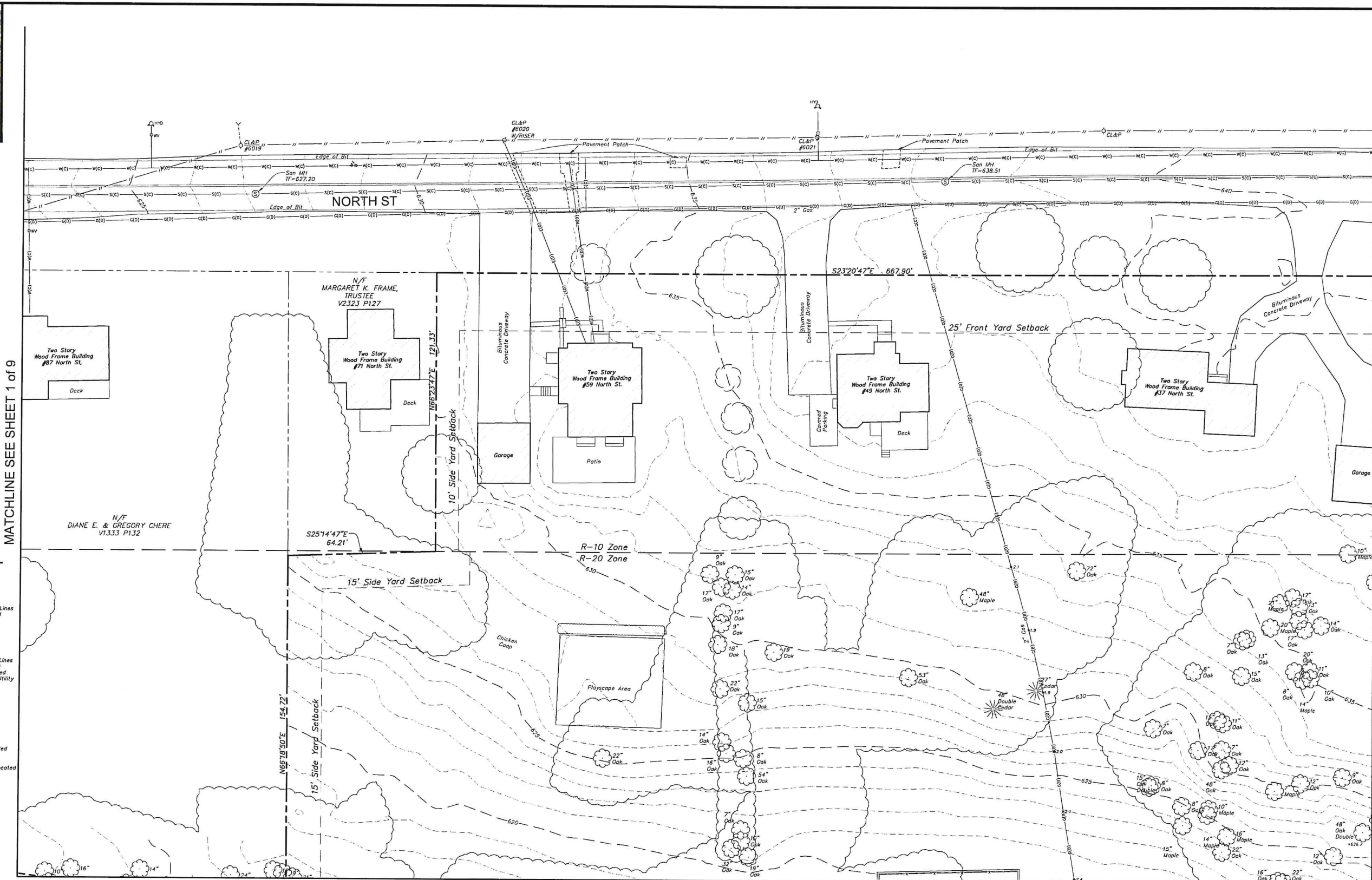
TOPOGRAPHIC SURVEY
SHEET 1 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

Design/Coles	JW	CAD File	EX24325801.dwg	Sheet No.
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Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	



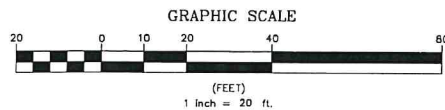
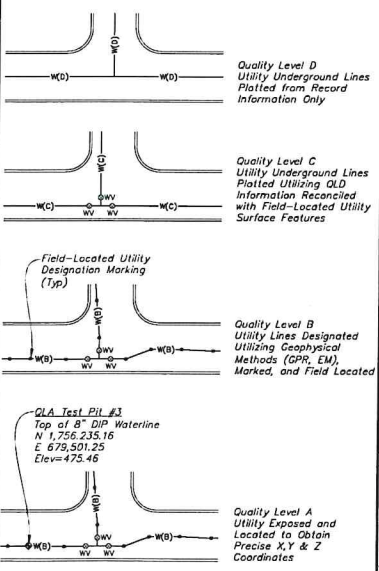
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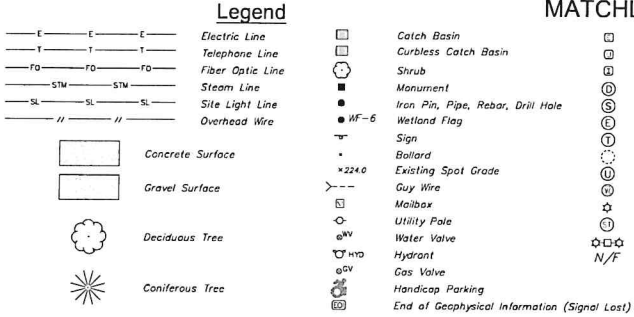
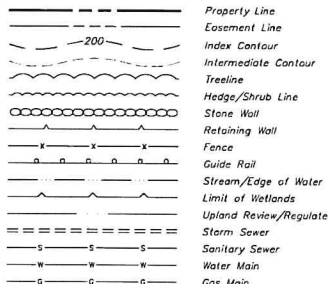
MATCHLINE SEE SHEET 1 of 9

MATCHLINE SEE SHEET 3 of 9

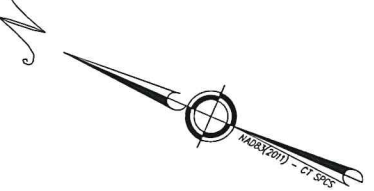
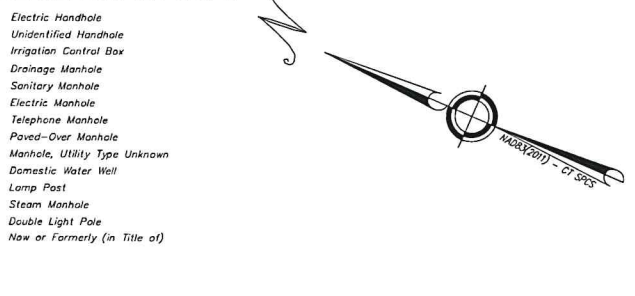
UTILITY QUALITY LEVELS



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



MATCHLINE SEE SHEET 5 of 9



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- Land Planning
- Laser Scanning & BIM
- Subsurface Utility Engineering

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(845) 243-2800
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SEE SHEET EX-1 FOR MAP NOTES

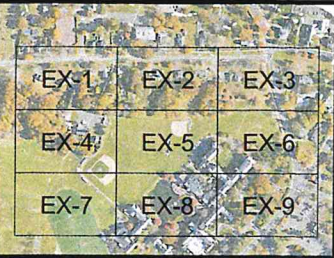
SHEET 2 OF 9

TOPOGRAPHIC SURVEY

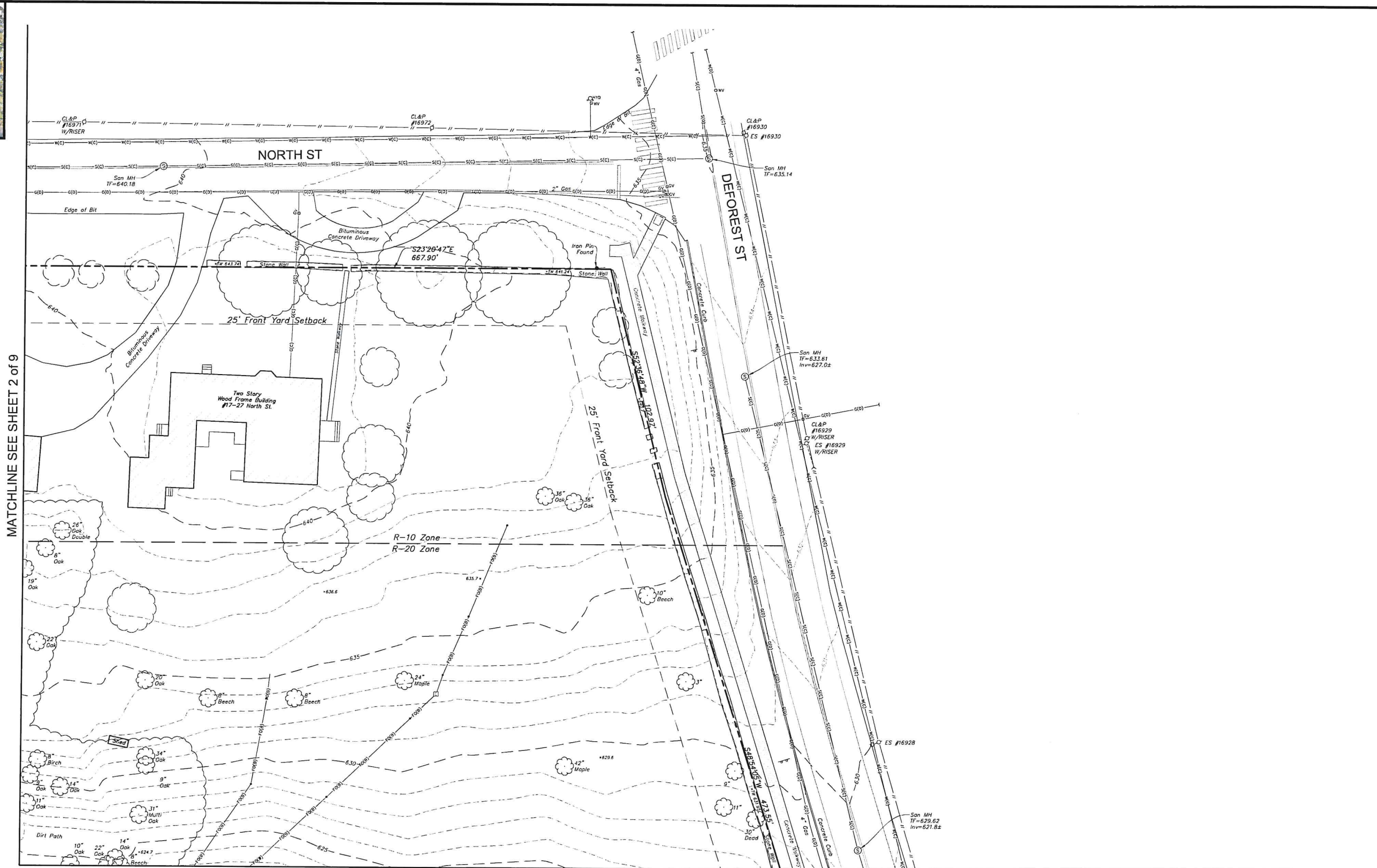
TAFT SCHOOL

110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

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Approved	JW	Scale	1"=20'		

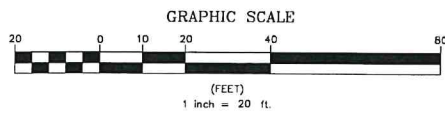


Key Map
Scale 1"=500'



MATCHLINE SEE SHEET 2 of 9

MATCHLINE SEE SHEET 6 of 9



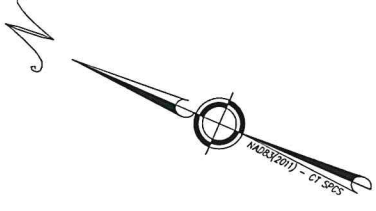
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Trestle
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
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	Sanitary Sewer
	Water Main
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	Telephone Line
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	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbside Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Wetland Flag
	Sign
	Ballard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

	Electric Handhole
	Unidentified Handhole
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	Telephone Manhole
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SEE SHEET EX-1 FOR MAP NOTES.

TOPOGRAPHIC SURVEY
SHEET 2 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

Design/Calc	JW	CAD File	EX24325801.dwg	Sheet No.	
Drawn	RW/RN	Project No.	24-3258		
Checked	JW	Date	12/12/2025		
Approved	JW	Scale	1"=20'		

EX-3



Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 2 of 9

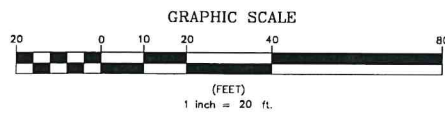


MATCHLINE SEE SHEET 4 of 9

MATCHLINE SEE SHEET 6 of 9

MATCHLINE SEE SHEET 8 of 9

SEE SHEET EX-1 FOR MAP NOTES

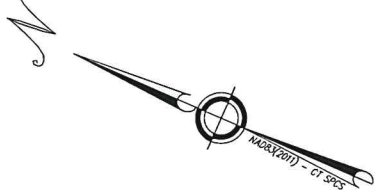


	Property Line
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	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

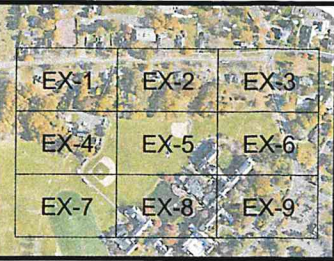
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	Unidentified Handhole
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	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
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JOHN F. WAGENBLATT L.S. No. 17,791

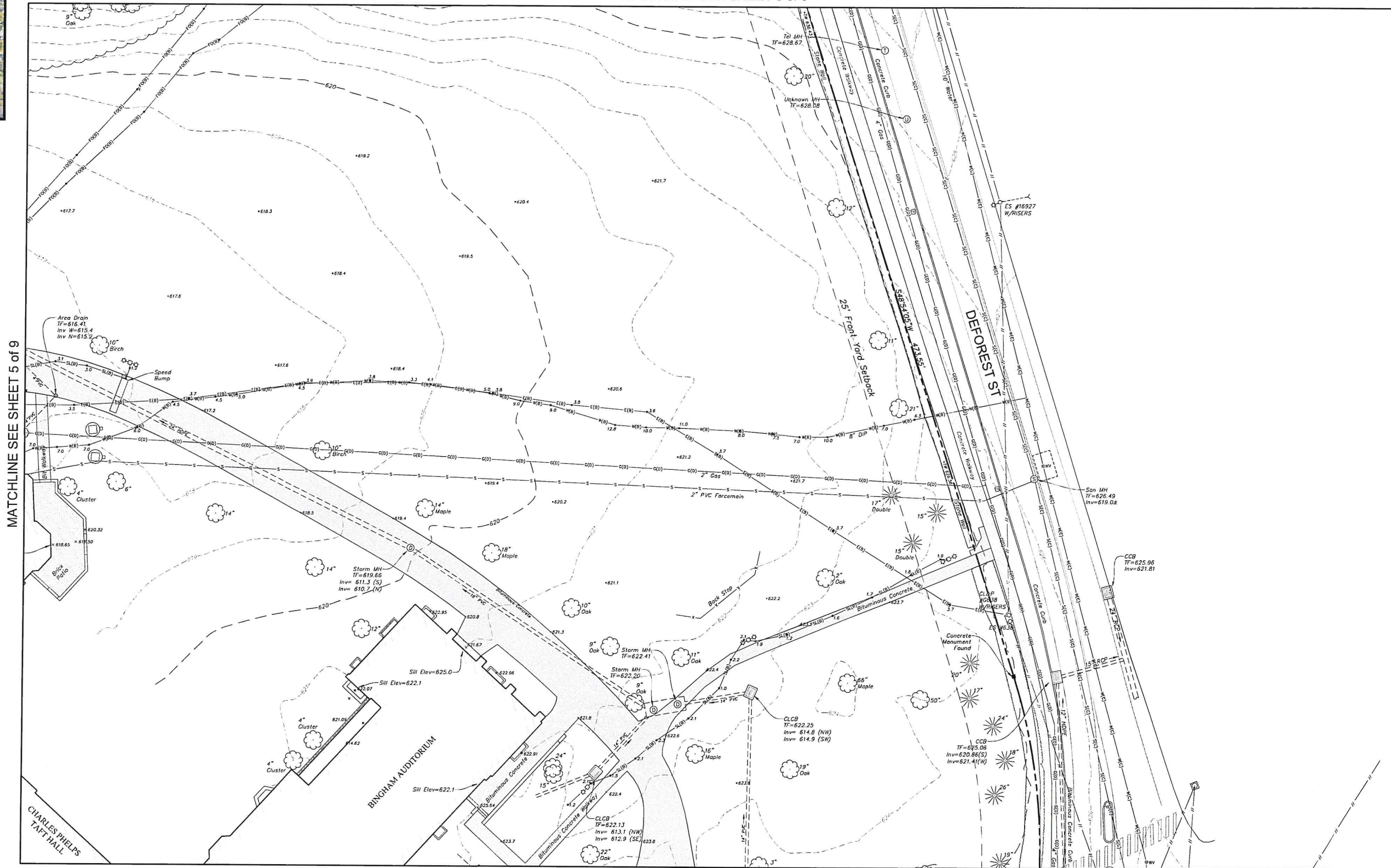


<p>Land Resource Consultants Engineering & Surveying, LLC</p> <p>160 West Street, Suite E Cromwell, CT 06416 860.413.2977</p> <p>85 Civic Center Plaza, Suite 204 Poughkeepsie, NY 12601 845.342.2000 www.lrgconsult.com</p>	<p>TOPOGRAPHIC SURVEY</p> <p>SHEET 5 OF 9</p> <p>TAFT SCHOOL</p> <p>110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT</p>	
	<p>Design/Calc: JW CAD File: EX24325801.dwg Sheet No.:</p> <p>Draw: RW/RN Project No.: 24-3358</p> <p>Checked: JW Date: 12/12/2025</p> <p>Approved: JW Scale: 1"=20'</p>	<p>EX-5</p>



Key Map
Scale 1"=500'

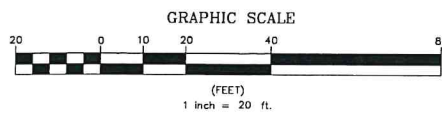
MATCHLINE SEE SHEET 3 of 9



MATCHLINE SEE SHEET 5 of 9

MATCHLINE SEE SHEET 9 of 9

SEE SHEET EX-1 FOR MAP NOTES

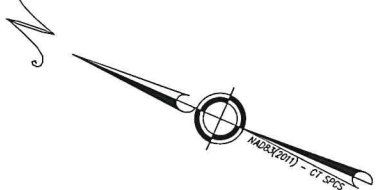


	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

	Electric Line
	Telephone Line
	Fiber Optic Line
	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbless Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	W/F-6
	Sign
	Ballard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

	Electric Handhole
	Unidentified Handhole
	Irrigation Control Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	Now or Formerly (in Title of)



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT
L.S. No. 17,791

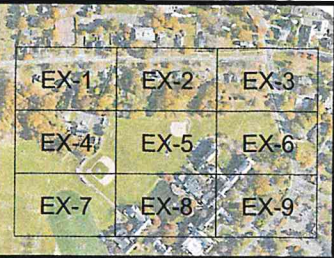


LRG
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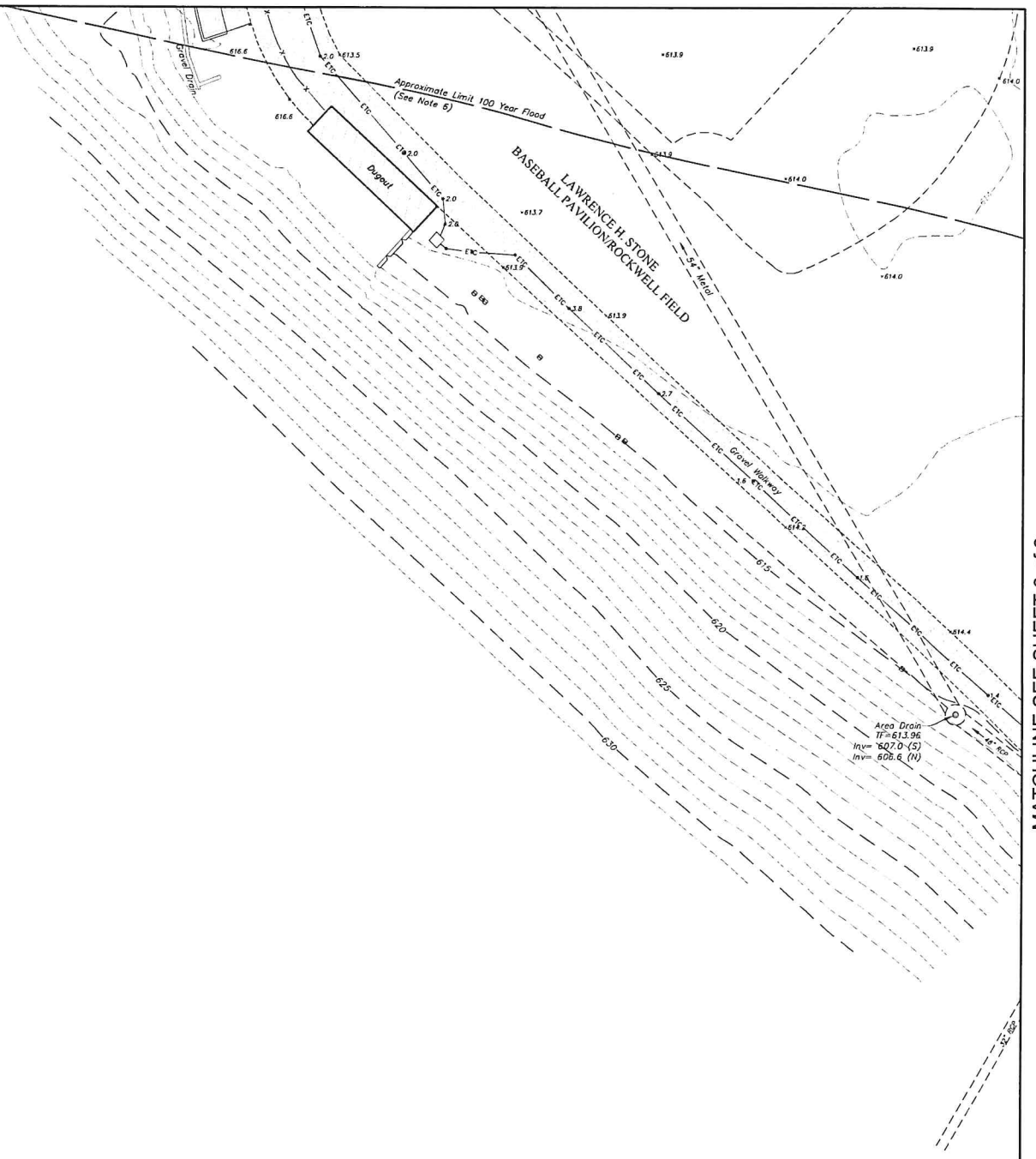
TOPOGRAPHIC SURVEY
SHEET 6 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

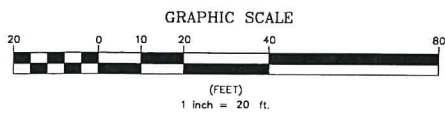
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Drawn	RM/JN	Project No.	24-3358	EX-6
Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	



Key Map
Scale 1"=500'



MATCHLINE SEE SHEET 8 of 9



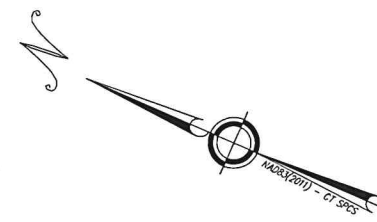
Certification
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JOHN F. WAGENBLATT L.S. No. 17,791



- Property Line
- Easement Line
- Index Contour
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- Treeline
- Hedge/Shrub Line
- Stone Wall
- Retaining Wall
- Fence
- Guide Rail
- Stream/Edge of Water
- Limit of Wetlands
- Upland Review/Regulated Area
- Storm Sewer
- Sanitary Sewer
- Water Main
- Gas Main

- Legend**
- Electric Line
 - Telephone Line
 - Fiber Optic Line
 - Steam Line
 - Site Light Line
 - Overhead Wire
 - Concrete Surface
 - Gravel Surface
 - Deciduous Tree
 - Coniferous Tree

- Catch Basin
- Curbside Catch Basin
- Shrub
- Monument
- Iron Pin, Pipe, Rebar, Drill Hole
- Well Flag
- Sign
- Ballard
- Existing Spot Grade
- Guy Wire
- Mailbox
- Utility Pole
- Water Valve
- Hydrant
- Gas Valve
- Handicap Parking
- End of Geophysical Information (Signal Lost)
- Electric Handhole
- Unidentified Handhole
- Irrigation Control Box
- Drainage Manhole
- Sanitary Manhole
- Electric Manhole
- Telephone Manhole
- Paved-Over Manhole
- Manhole, Utility Type Unknown
- Domestic Water Well
- Lamp Post
- Steam Manhole
- Double Light Pole
- Now or Formerly (in Title of)



SEE SHEET EX-1 FOR MAP NOTES.

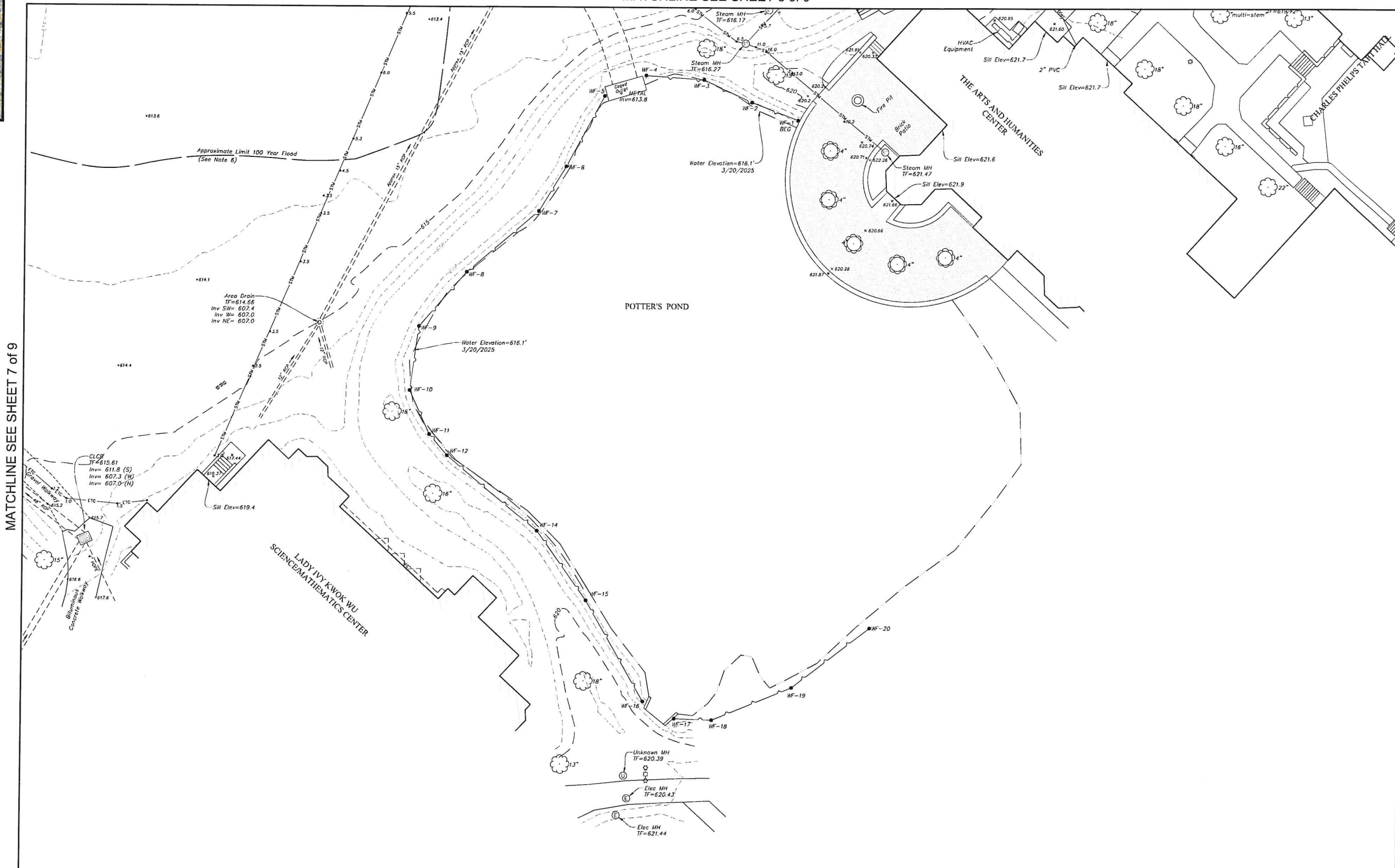
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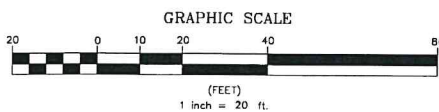
Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 6 of 9



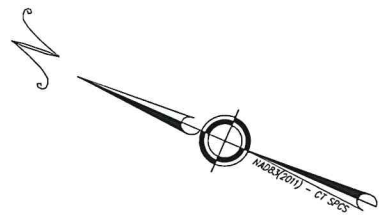
MATCHLINE SEE SHEET 7 of 9

MATCHLINE SEE SHEET 9 of 9



Legend	
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main
	Electric Line
	Telephone Line
	Fiber Optic Line
	Stream Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin		Electric Handhole
	Curbside Catch Basin		Unidentified Handhole
	Shrub		Irrigation Control Box
	Manument		Drainage Manhole
	Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
	Wetland Flag		Electric Manhole
	WF-6		Telephone Manhole
	Sign		Paved-Over Manhole
	Bollard		Manhole, Utility Type Unknown
	Existing Spot Grade		Domestic Water Well
	Guy Wire		Lamp Post
	Mailbox		Steam Manhole
	Utility Pole		Double Light Pole
	Water Valve		Now or Formerly (in Title of)
	Hydrant		
	Gas Valve		
	Handicap Parking		
	End of Geophysical Information (Signal Lost)		



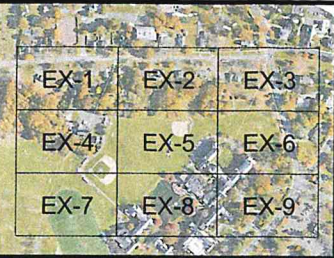
Certification
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John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



<p>LRC Landscape Resource Consultants Engineering & Surveying, LLC</p> <p>160 West Street, Suite E Gromwell, CT 06416 (860) 634-2817</p> <p>85 Civic Center Plaza, Suite 204 Poughkeepsie, NY 12601 (845) 243-2800 www.lrc-nyc.com</p>	<p>TOPOGRAPHIC SURVEY</p> <p>SHEET 8 OF 9</p> <p>Taft School</p> <p>110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT</p>	
	<p>Design/Coors JW CAD File EX24325801.dwg Sheet No.</p> <p>Drawn RW/RN Project No. 24-3258</p> <p>Checked JW Date 12/12/2025</p> <p>Approved JW Scale 1"=20'</p>	<p>EX-8</p>

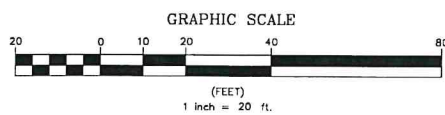
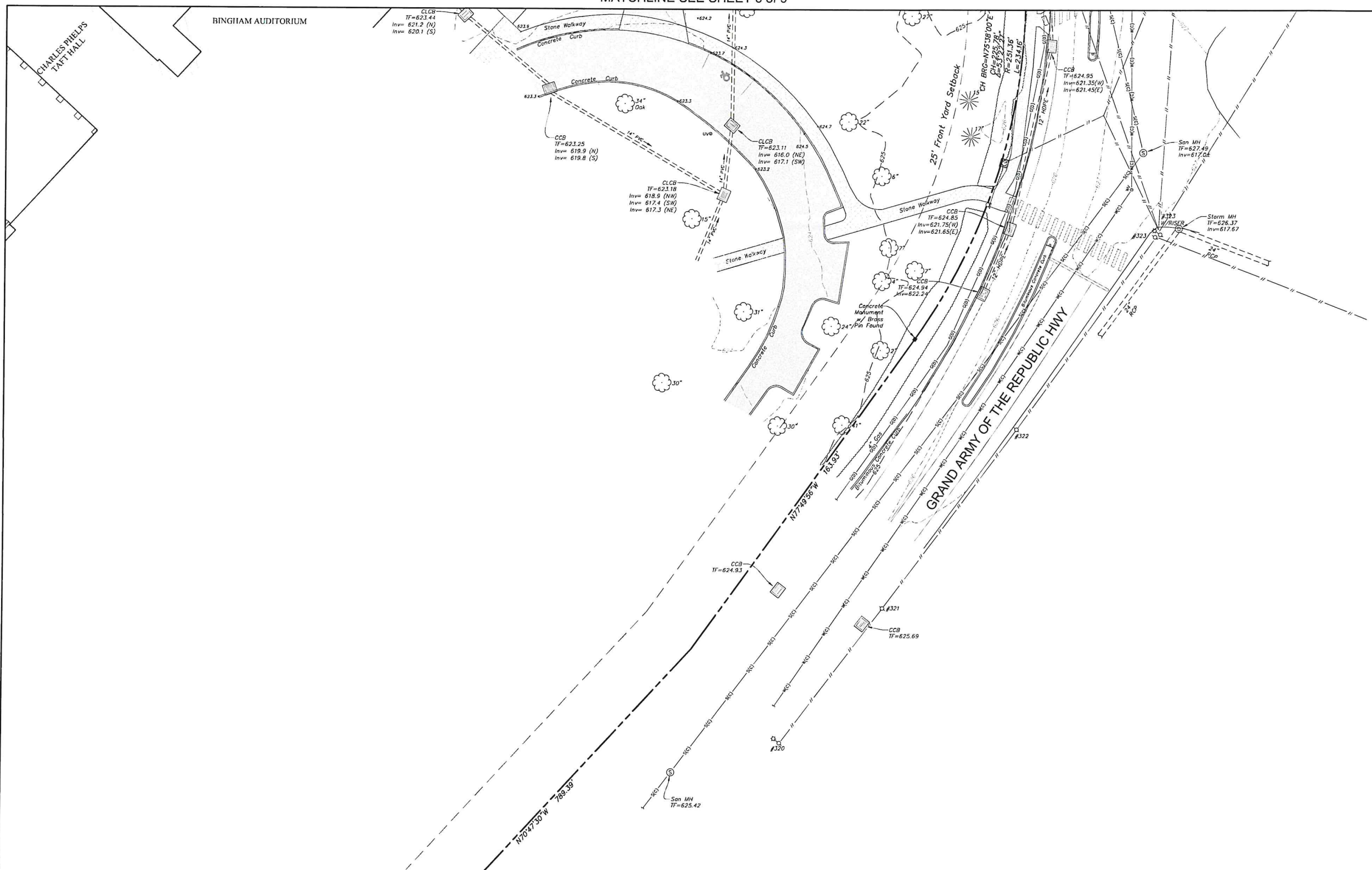
SEE SHEET EX-1 FOR MAP NOTES.



Key Map
Scale 1"=500'

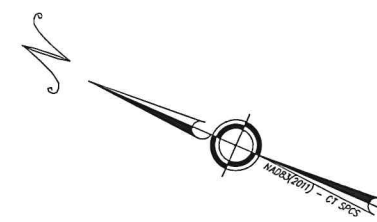
MATCHLINE SEE SHEET 8 of 9

MATCHLINE SEE SHEET 6 of 9



- Property Line
- Easement Line
- Index Contour
- Intermediate Contour
- Treenline
- Hedge/Shrub Line
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- Fence
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 - Catch Basin
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Certification
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Farmington, CT 06030
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www.lrcinc.com

TOPOGRAPHIC SURVEY			
SHEET 9 OF 9			
TAFT SCHOOL			
110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT			
Design/Co's	JW	CAD File	EX24325801.dwg
Drawn	RW/RN	Project No.	24-3258
Checked	JW	Date	12/12/2025
Approved	JW	Scale	1"=20'
			EX-9

SEE SHEET EX-1 FOR MAP NOTES.



**Student Dormitory
The Taft School**

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& Surveying, LLC
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phone 401-383-3574

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NV5
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Philadelphia, PA 19107
phone 215-751-1133

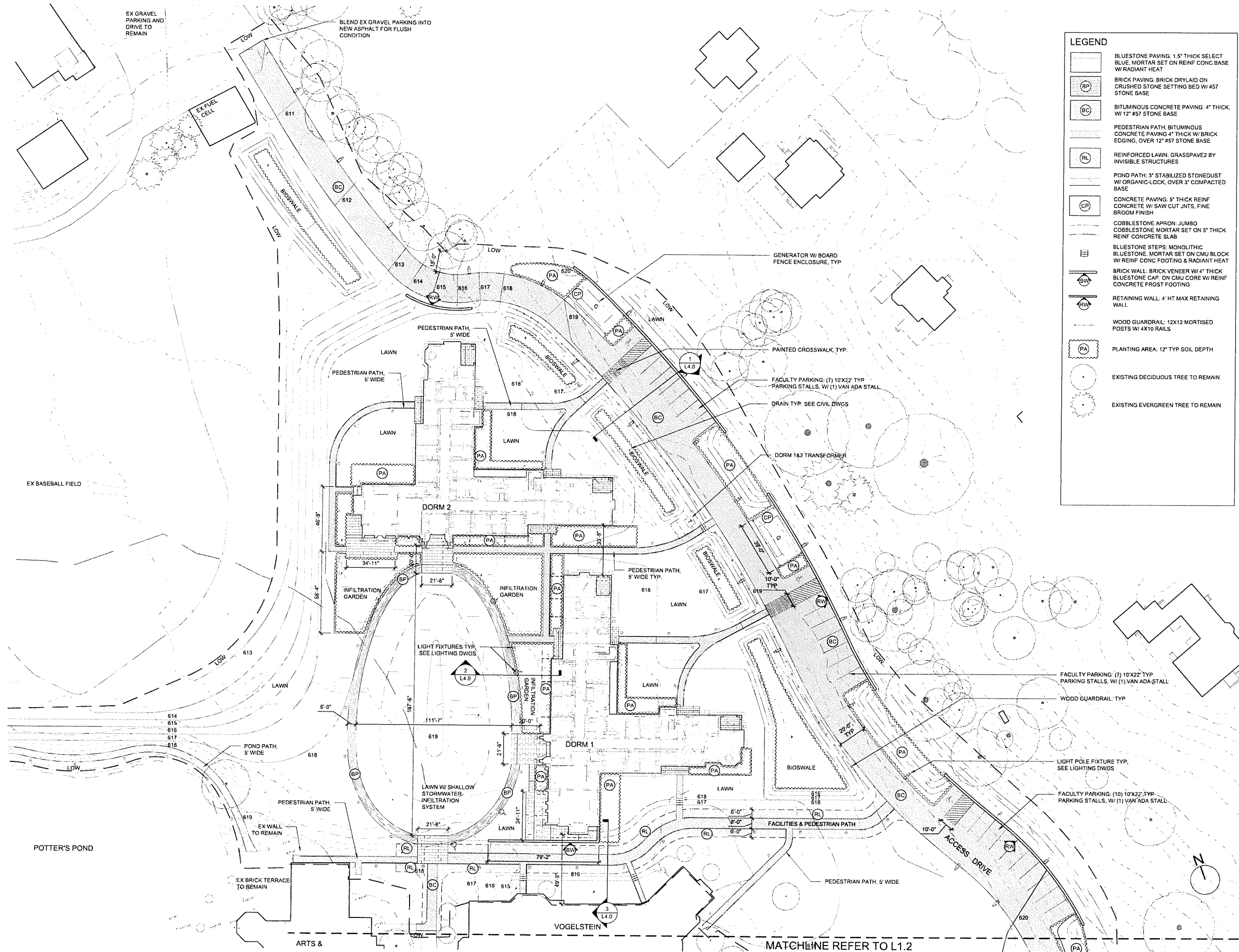
LIGHTING DESIGN
O'Donohue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title Overall Landscape Plan

Scale 1" = 60'-0"
Drawn By YZ, GS

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work.



LEGEND

	BLUESTONE PAVING: 1.5" THICK SELECT BLUE, MORTAR SET ON REINF CONC BASE W/ RADIANT HEAT
	BRICK PAVING: BRICK DRYLAID ON CRUSHED STONE SETTING BED W/ #57 STONE BASE
	BITUMINOUS CONCRETE PAVING: 4" THICK, W/ 12" #57 STONE BASE
	PEDESTRIAN PATH: BITUMINOUS CONCRETE PAVING 4" THICK W/ BRICK EDGING, OVER 12" #57 STONE BASE
	REINFORCED LAWN: GRASSPAVEZ BY INVISIBLE STRUCTURES
	POND PATH: 3" STABILIZED STONEDUST W/ ORGANIC-LOCK, OVER 3" COMPACTED BASE
	CONCRETE PAVING: 5" THICK REINF CONCRETE W/ SAW CUT JN'TS, FINE BROOM FINISH
	COBBLESTONE APRON: JUMBO COBBLESTONE MORTAR SET ON 5" THICK REINF CONCRETE SLAB
	BLUESTONE STEPS: MONOLITHIC BLUESTONE, MORTAR SET ON CMU BLOCK W/ REINF CONC FOOTING & RADIANT HEAT
	BRICK WALL: BRICK VENEER W/ 4" THICK BLUESTONE CAP, ON CMU CORE W/ REINF CONCRETE FROST FOOTING
	RETAINING WALL: 4' HT MAX RETAINING WALL
	WOOD GUARDRAIL: 12X12 MORTISED POSTS W/ 4X10 RAILS
	PLANTING AREA: 12" TYP SOIL DEPTH
	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING EVERGREEN TREE TO REMAIN

**Student Dormitory
The Taft School**

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phone 401-383-3574

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Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date: January 21, 2026
Title: Dorm 1&2
Layout & Material Plan

Scale: 1" = 30'-0"
Drawn By: YZ, GS

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

MATCHLINE REFER TO L1.2

**Student Dormitory
The Taft School**

110 Waterbury Rd
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& Surveying, LLC
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LIGHTING DESIGN

O'Donoghue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone: 215-518-4788

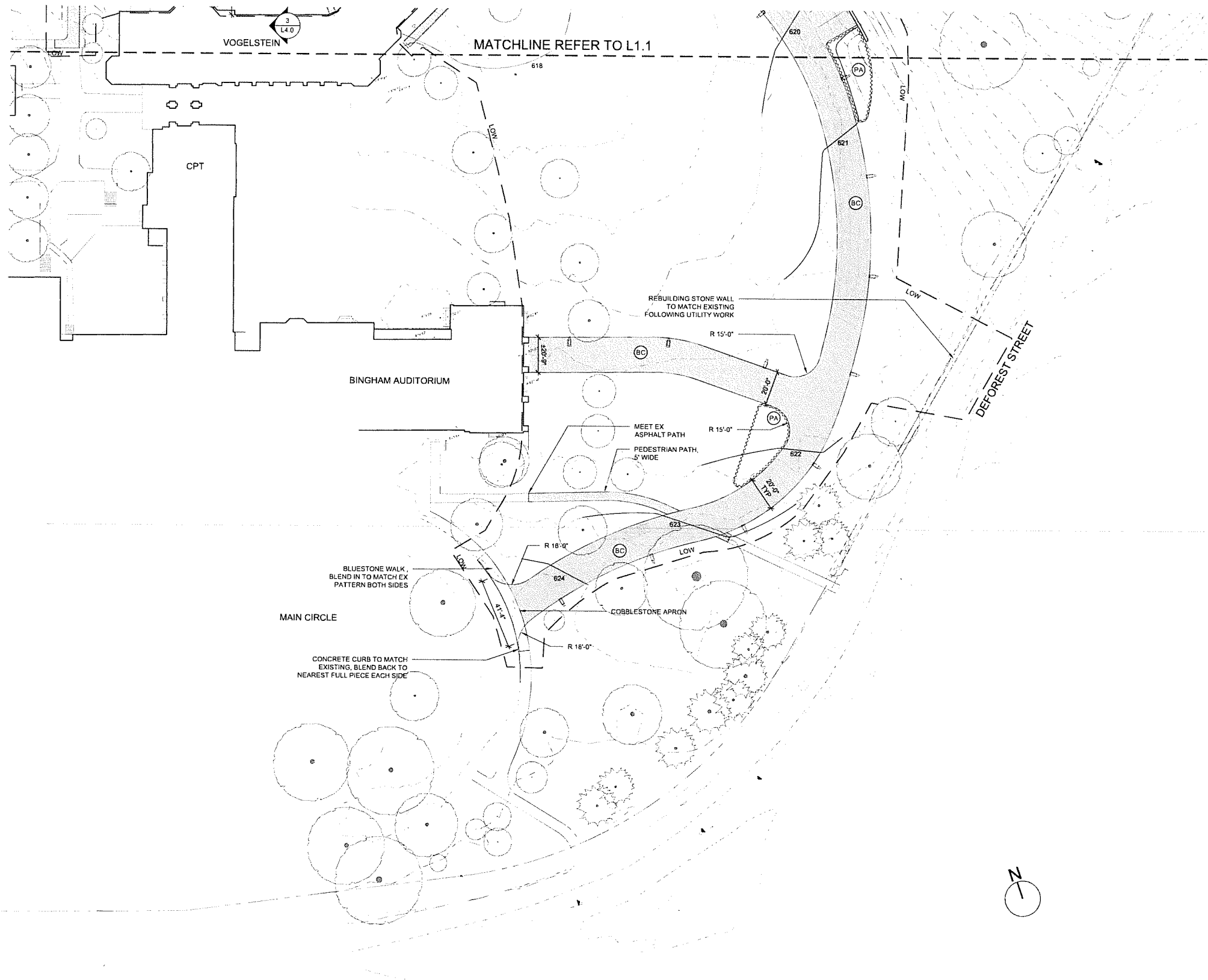
**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date: January 21, 2026
Title: Main Circle
Layout & Material Plan
















Scale: 1" = 30'-0"
Drawn By: YZ, GS

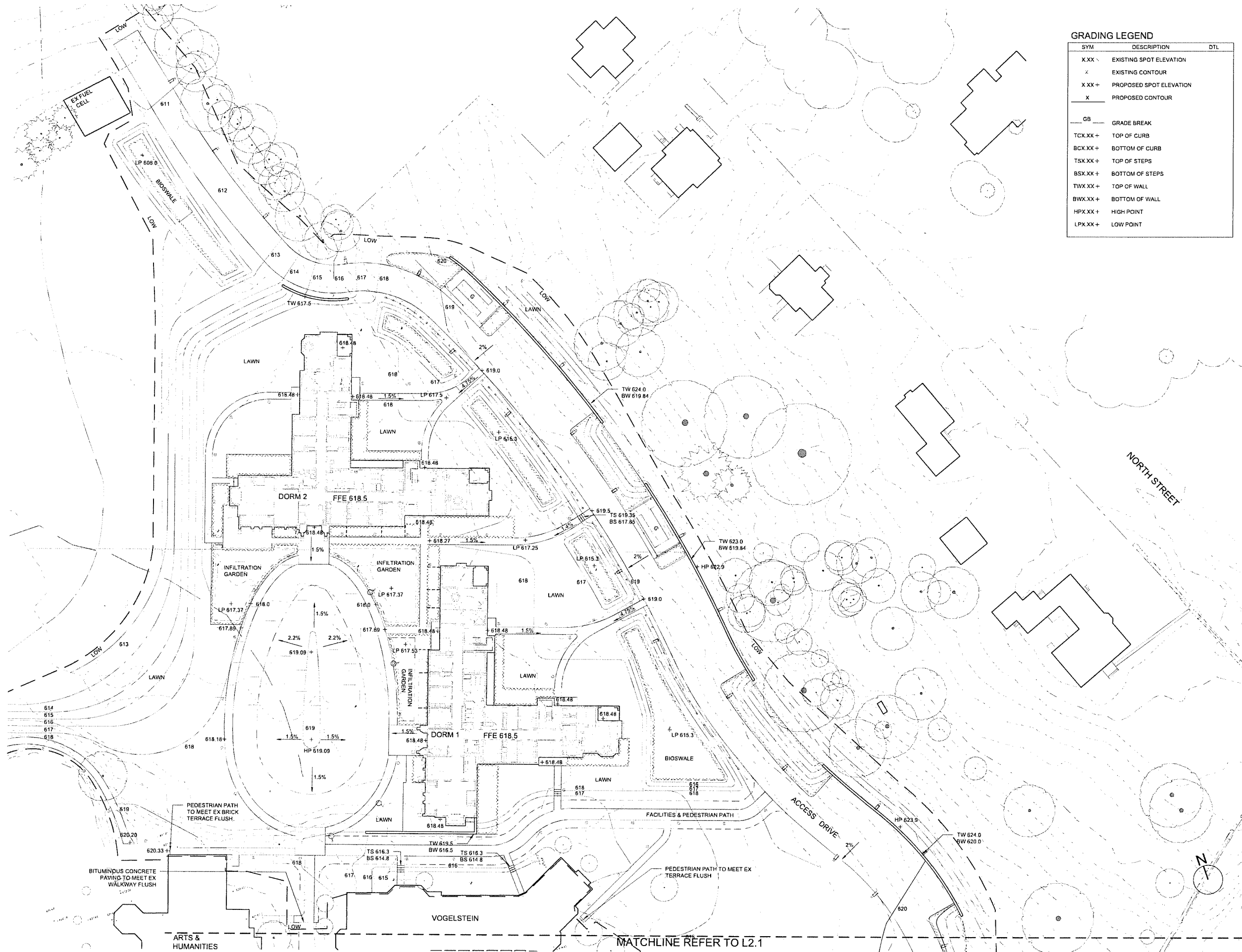
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Consultor to verify all dimensions in field and inform
Architect of any discrepancies before starting work.



LEGEND

-  BLUESTONE PAVING: 1.5" THICK SELECT BLUE MORTAR SET ON REINF CONC BASE W/ RADIANT HEAT
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-  BITUMINOUS CONCRETE PAVING: 4" THICK, W/ 12" #57 STONE BASE
-  PEDESTRIAN PATH: BITUMINOUS CONCRETE PAVING 4" THICK W/ BRICK EDGING, OVER 12" #57 STONE BASE
-  REINFORCED LAWN: GRASSPAVE2 BY INVISIBLE STRUCTURES
-  POND PATH: 3" STABILIZED STONEDUST W/ ORGANIC-LOCK, OVER 3" COMPACTED BASE
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-  COBBLESTONE APRON: JUMBO COBBLESTONE MORTAR SET ON 5" THICK REINF CONCRETE SLAB
-  BLUESTONE STEPS: MONOLITHIC BLUESTONE, MORTAR SET ON CMU BLOCK W/ REINF CONC FOOTING & RADIANT HEAT
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-  WOOD GUARDRAIL: 12X12 MORTISED POSTS W/ 4X10 RAILS
-  PLANTING AREA: 12" TYP SOIL DEPTH
-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING EVERGREEN TREE TO REMAIN



GRADING LEGEND

SYM	DESCRIPTION	DTL
X.XX \	EXISTING SPOT ELEVATION	
X	EXISTING CONTOUR	
X.XX +	PROPOSED SPOT ELEVATION	
X	PROPOSED CONTOUR	
GB	GRADE BREAK	
TCX.XX +	TOP OF CURB	
BCX.XX +	BOTTOM OF CURB	
TSX.XX +	TOP OF STEPS	
BSX.XX +	BOTTOM OF STEPS	
TWX.XX +	TOP OF WALL	
BWX.XX +	BOTTOM OF WALL	
HPX.XX +	HIGH POINT	
LPX.XX +	LOW POINT	

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LIGHTING DESIGN
O'Donoghue Lighting
1816 S. 2nd St
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**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title Dorm 1&2 Grading Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

2.0

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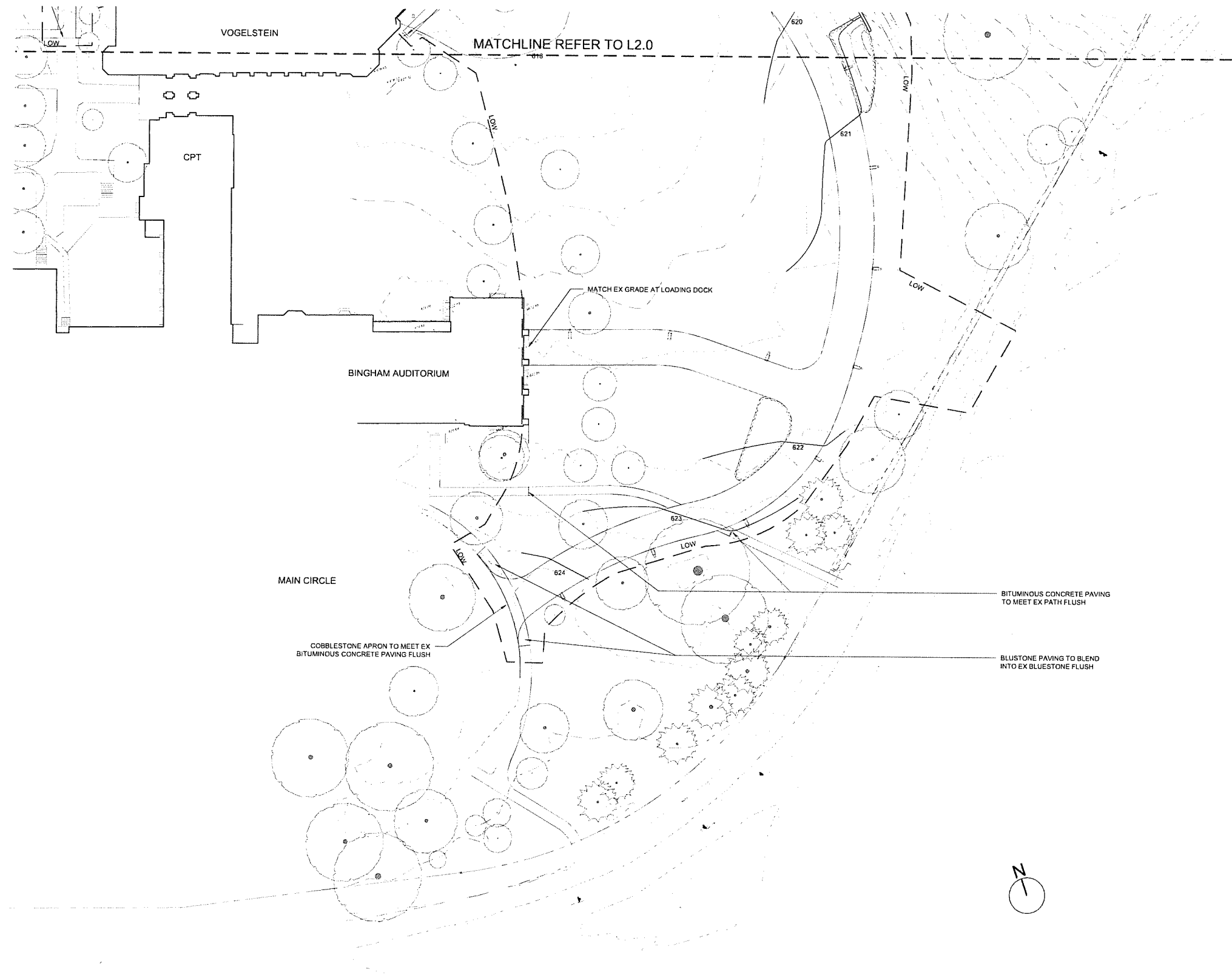
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Revision
Date January 21, 2026
Title Main Circle
Grading Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

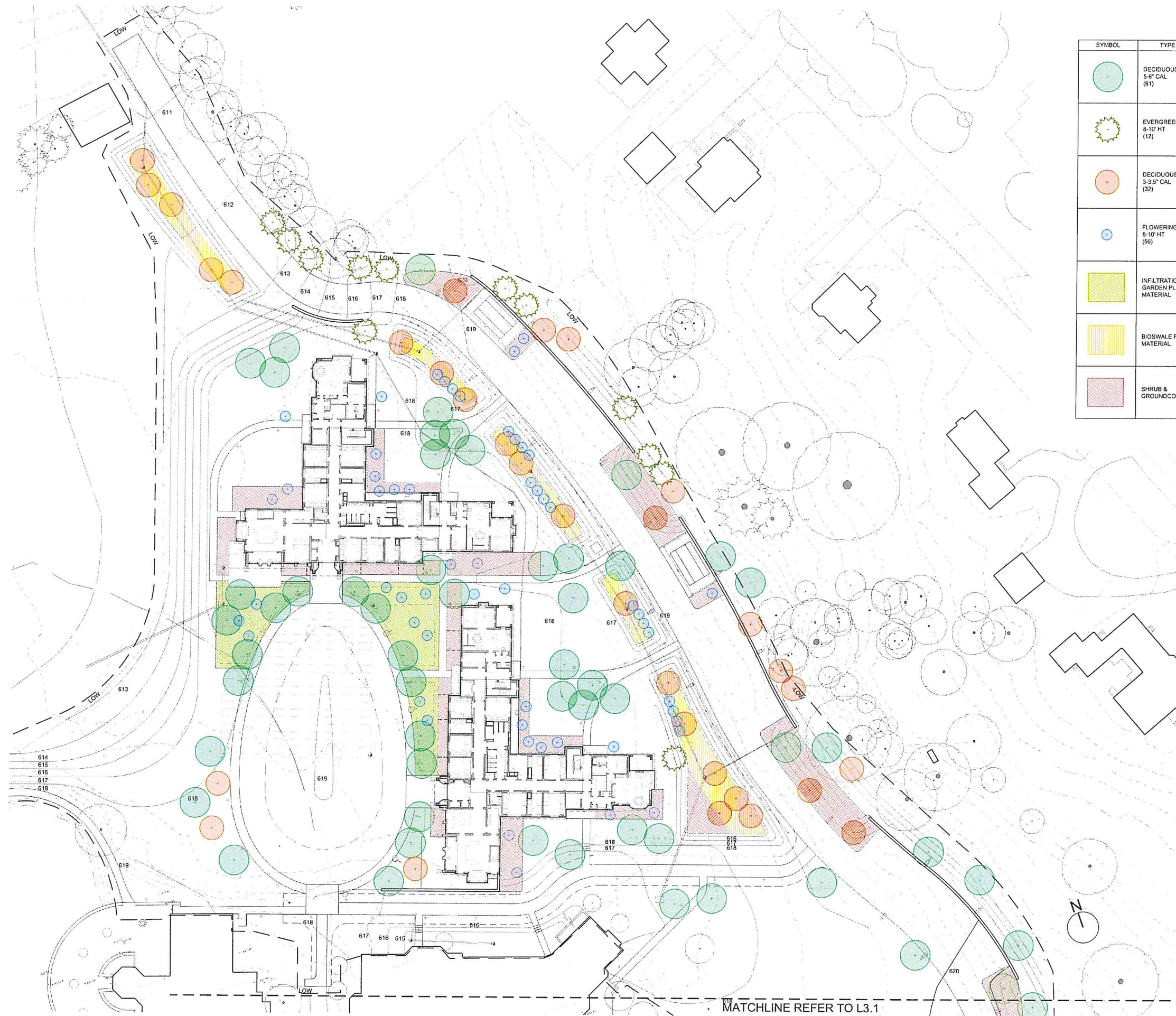
GRADING LEGEND

SYM	DESCRIPTION	DTL
X.XX \	EXISTING SPOT ELEVATION	
X	EXISTING CONTOUR	
X.XX +	PROPOSED SPOT ELEVATION	
X	PROPOSED CONTOUR	
GB	GRADE BREAK	
TCX.XX +	TOP OF CURB	
BCX.XX +	BOTTOM OF CURB	
TSX.XX +	TOP OF STEPS	
BSX.XX +	BOTTOM OF STEPS	
TWX.XX +	TOP OF WALL	
BWX.XX +	BOTTOM OF WALL	
HPX.XX +	HIGH POINT	
LPX.XX +	LOW POINT	



L2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



SYMBOL	TYPE	SPECIES
	DECIDUOUS TREE 5-6" CAL (61)	<i>Acer saccharum</i> <i>Liriodendron tulipifera</i> <i>Quercus alba</i> <i>Quercus rubra</i> <i>Tilia americana</i> <i>Ulmus americana</i> 'Princeton'
	EVERGREEN TREE 8-10" HT (12)	<i>Ilex opaca</i> <i>Juniperus virginiana</i> <i>Pinus resinosa</i> <i>Pinus strobus</i>
	DECIDUOUS TREE 3-3.5" CAL (32)	<i>Acer rubrum</i> <i>Betula alleghaniensis</i> <i>Nyssa sylvatica</i>
	FLOWERING TREE 8-10" HT (56)	<i>Amelanchier</i> <i>Cercis canadensis</i> <i>Cornus florida</i> <i>Magnolia virginiana</i>
	INFILTRATION GARDEN PLANT MATERIAL	<i>Arcostaphylos uva-ursi</i> <i>Aronia melanocarpa</i> <i>Carex pennsylvanica</i> <i>Demissa punctilobula</i> <i>Ostrya virginiana</i> <i>Polysichum acroschoides</i>
	BIOSWALE PLANT MATERIAL	<i>Aronia melanocarpa</i> <i>Eutrochium purpureum</i> <i>Ilex verticillata</i> <i>Panicum virgatum</i>
	SHRUB & GROUNDCOVER	<i>Carex pennsylvanica</i> <i>Ilex verticillata</i> <i>Liriope spicata</i> <i>Pachysandra terminalis</i> <i>Rhus aromatica</i> 'Gro-Low'

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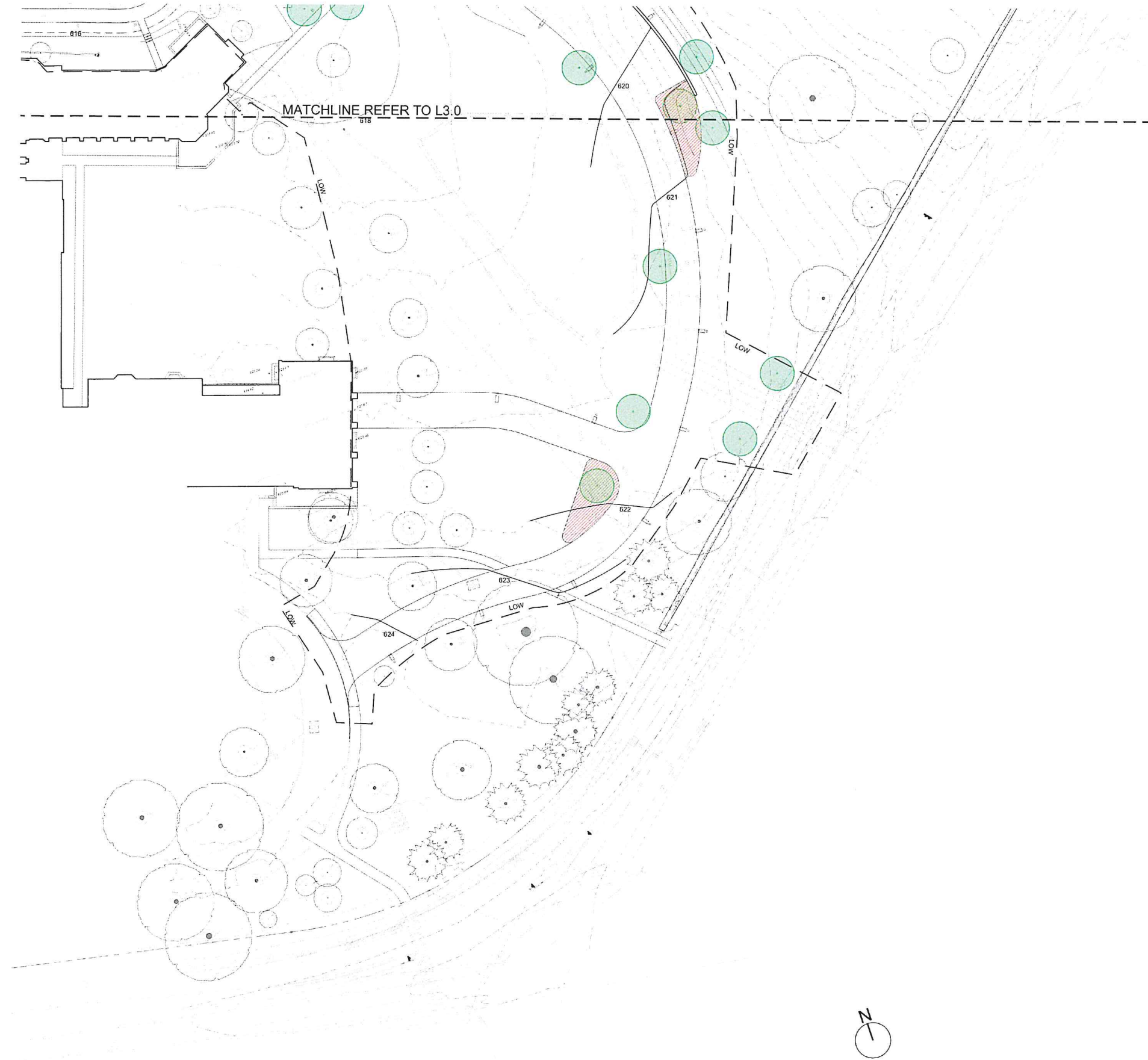
Revision
Date January 21, 2026
Title Dorm 152
Planting Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

L3.0

Contractor to verify all dimensions in field and inform
Architect of any encroachments before starting work.

MATCHLINE REFER TO L3.1



SYMBOL	TYPE	SPECIES
	DECIDUOUS TREE 5-6" CAL (61)	<i>Acer saccharum</i> <i>Liriodendron tulipifera</i> <i>Quercus alba</i> <i>Quercus rubra</i> <i>Tilia americana</i> <i>Ulmus americana</i> 'Princeton'
	EVERGREEN TREE 8-10' HT (12)	<i>Ilex opaca</i> <i>Juniperus virginiana</i> <i>Pinus resinosa</i> <i>Pinus strobus</i>
	DECIDUOUS TREE 3-3.5" CAL (32)	<i>Acer rubrum</i> <i>Betula alleghaniensis</i> <i>Nyssa sylvatica</i>
	FLOWERING TREE 8-10' HT (56)	<i>Amelanchier</i> <i>Cercis canadensis</i> <i>Cornus florida</i> <i>Magnolia virginiana</i>
	INFILTRATION GARDEN PLANT MATERIAL	<i>Arctostaphylos uva-ursi</i> <i>Aronia melanocarpa</i> <i>Carex pensylvanica</i> <i>Demissaedilia punctilobula</i> <i>Ostrya virginiana</i> <i>Polystichum acrostichoides</i>
	BIOSWALE PLANT MATERIAL	<i>Aronia melanocarpa</i> <i>Eutrochium purpureum</i> <i>Ilex verticillata</i> <i>Panicum virgatum</i>
	SHRUB & GROUND COVER	<i>Carex pensylvanica</i> <i>Ilex verticillata</i> <i>Liriope spicata</i> <i>Pachysandra terminalis</i> <i>Rhus aromatica</i> 'Gro-Low'

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Revision
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Title Main Circle
Planting Plan

Scale 1" = 30'-0"
Drawn By VZ, GS

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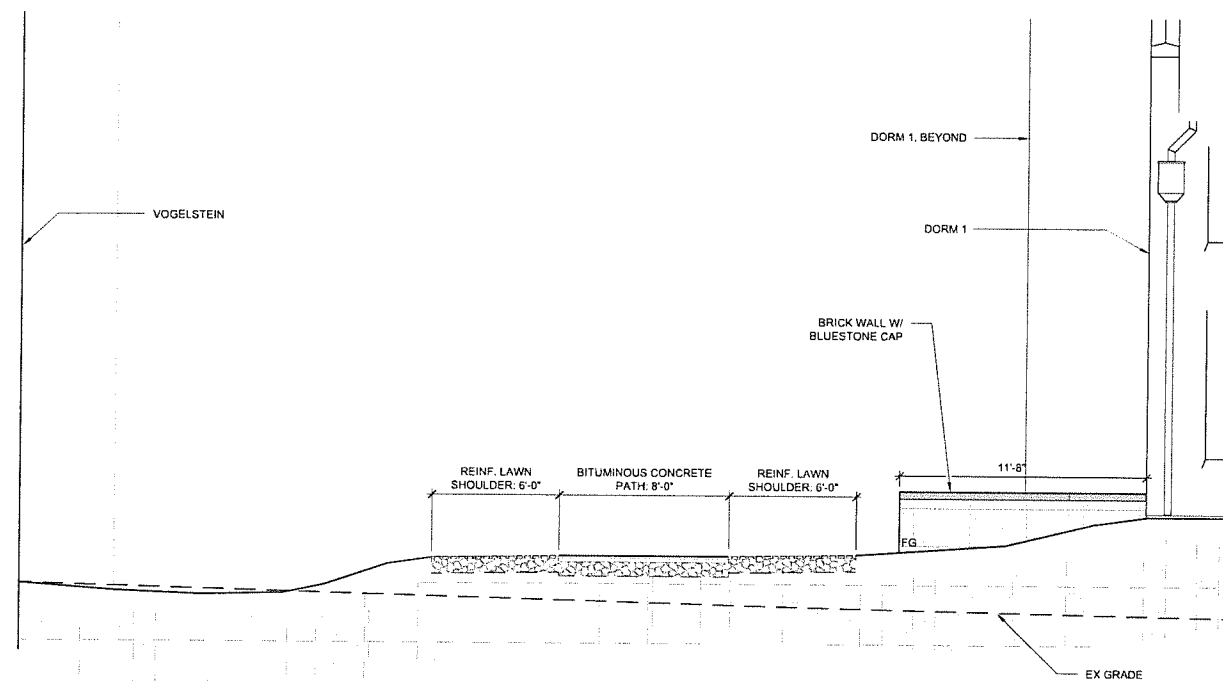
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Revision
Date January 21, 2026
Title Sections

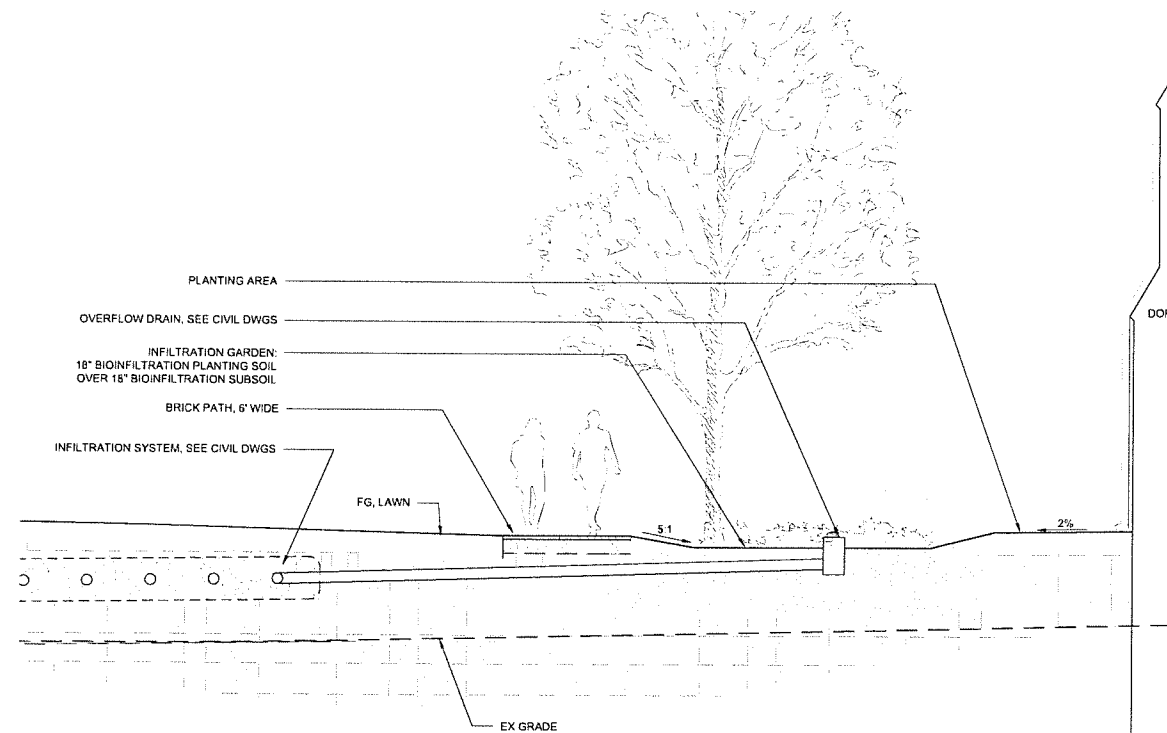
Scale As Noted
Drawn By YZ, GS

4.0

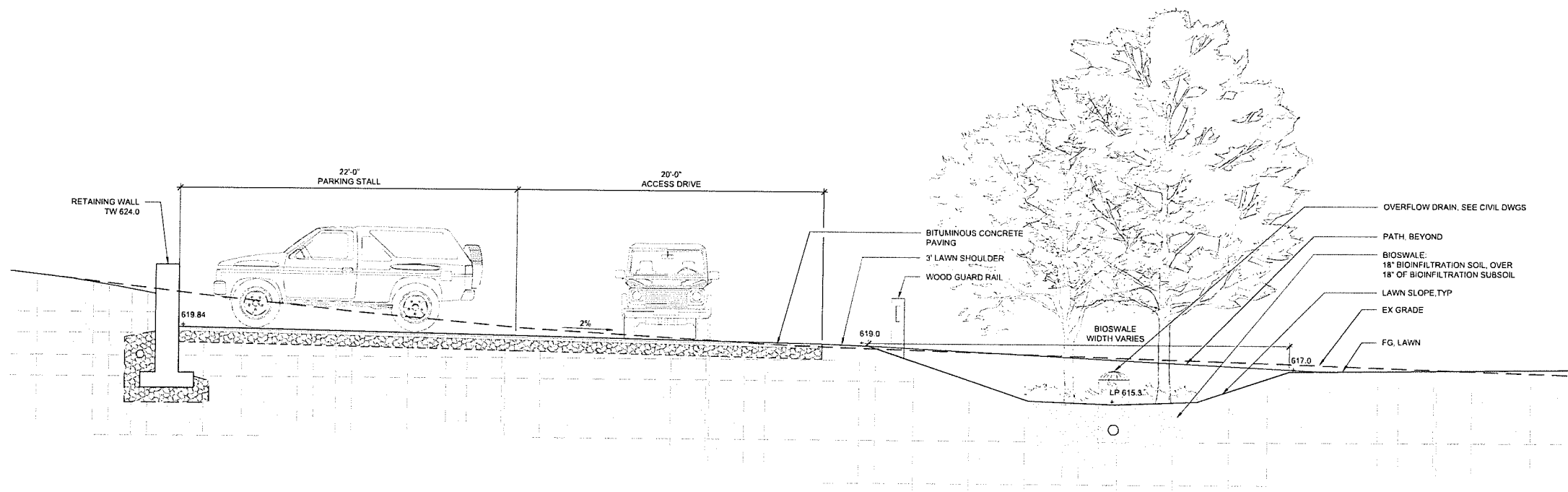
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Architect of any discrepancies before starting work.



3 PATH W/ REINFORCED LAWN SHOULDER
1/4"=1'-0"



2 INFILTRATION GARDEN SECTION
1/4"=1'-0"



1 BIOSWALE & DRIVEWAY SECTION
1/4"=1'-0"

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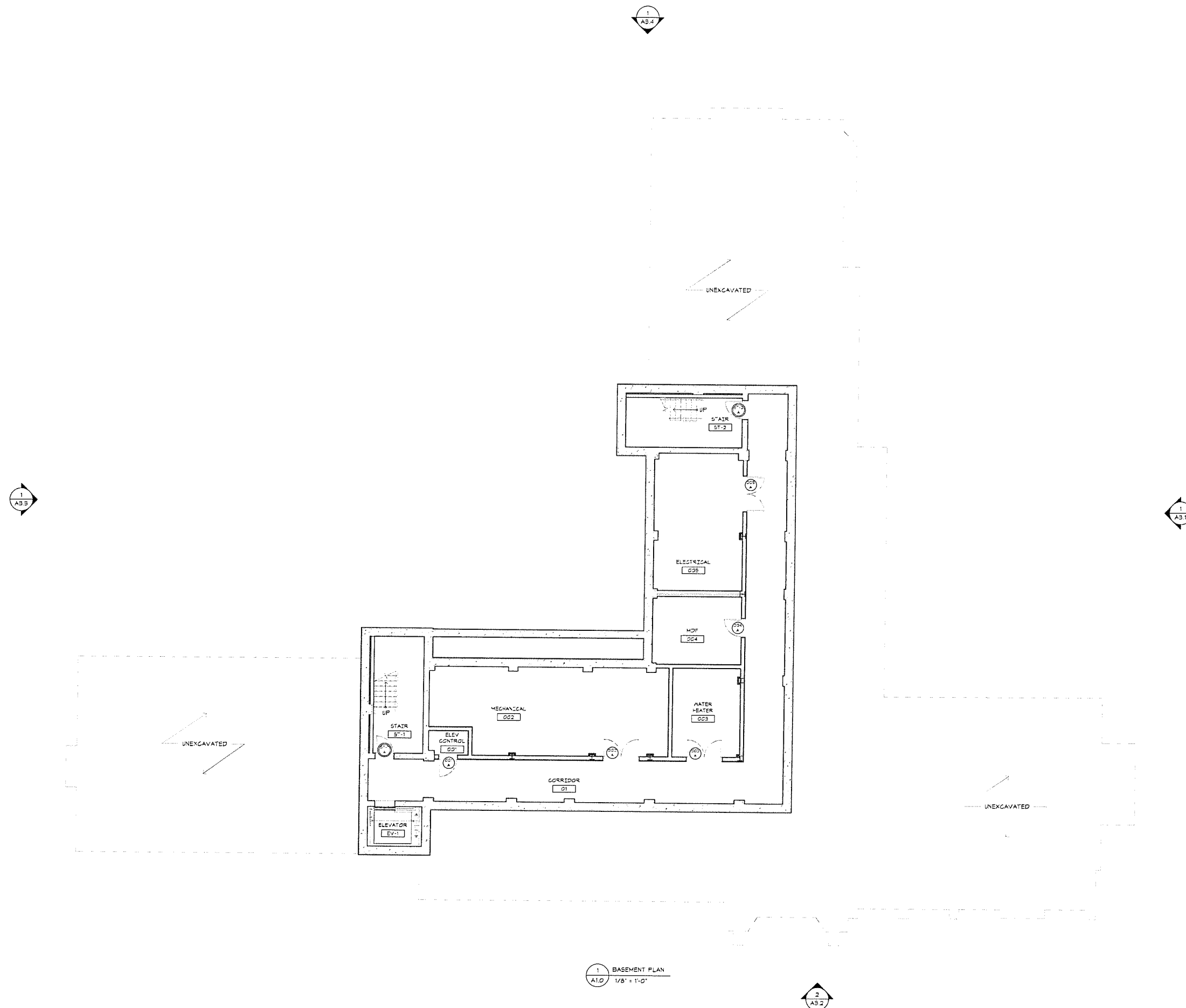
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Revision
Date January 21, 2026
Title BASEMENT FLOOR
PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.0

Consultor to verify all dimensions in field and inform
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1 BASEMENT PLAN
A1.0 1/8" = 1'-0"

2
AB 2

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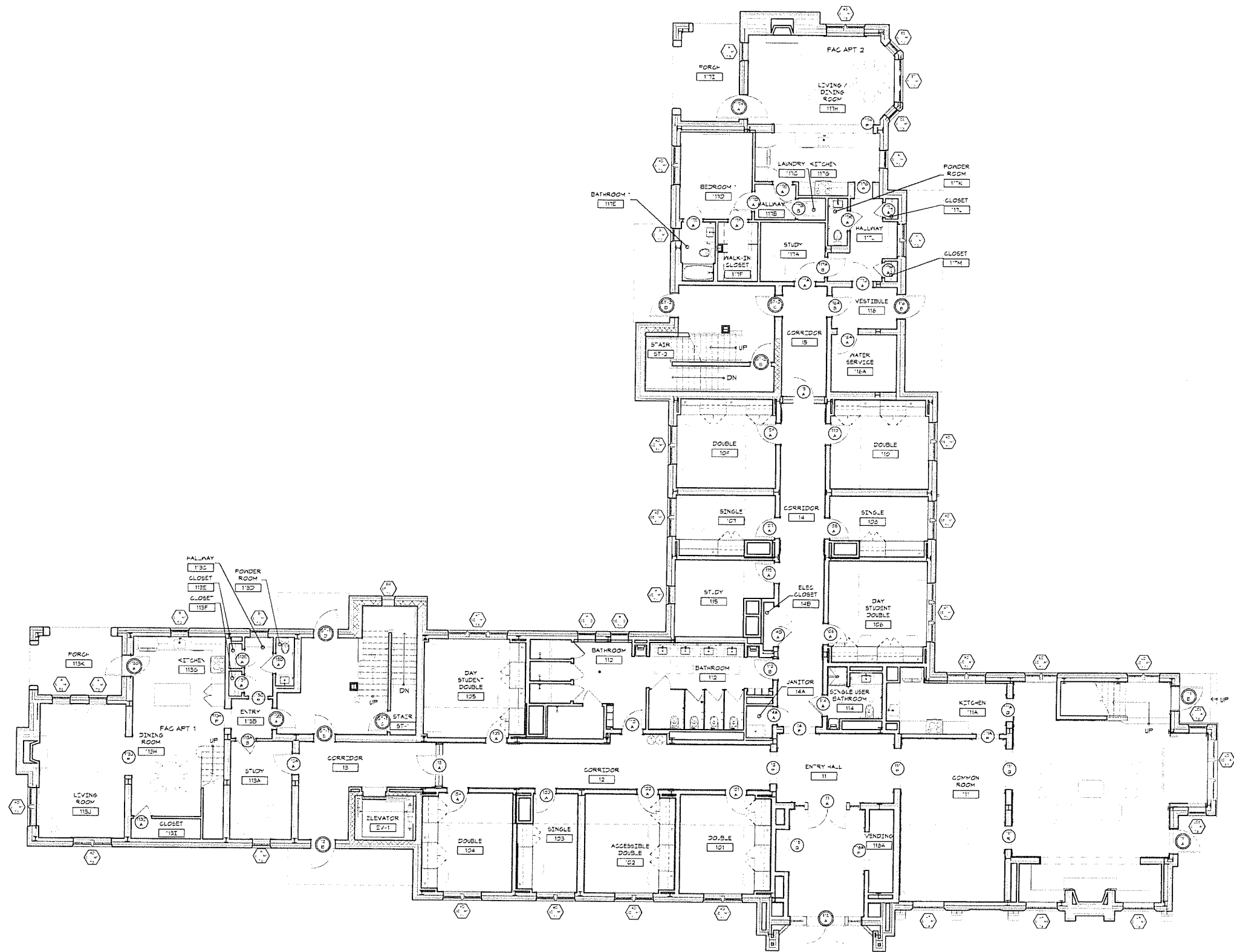
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Revision
Date January 21, 2026
Title FIRST FLOOR PLAN

Scale As Indicated
Drawn By RPD, JT, JPS

A1.1

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



1 FIRST FLOOR PLAN
A1.1 1/8" = 1'-0"



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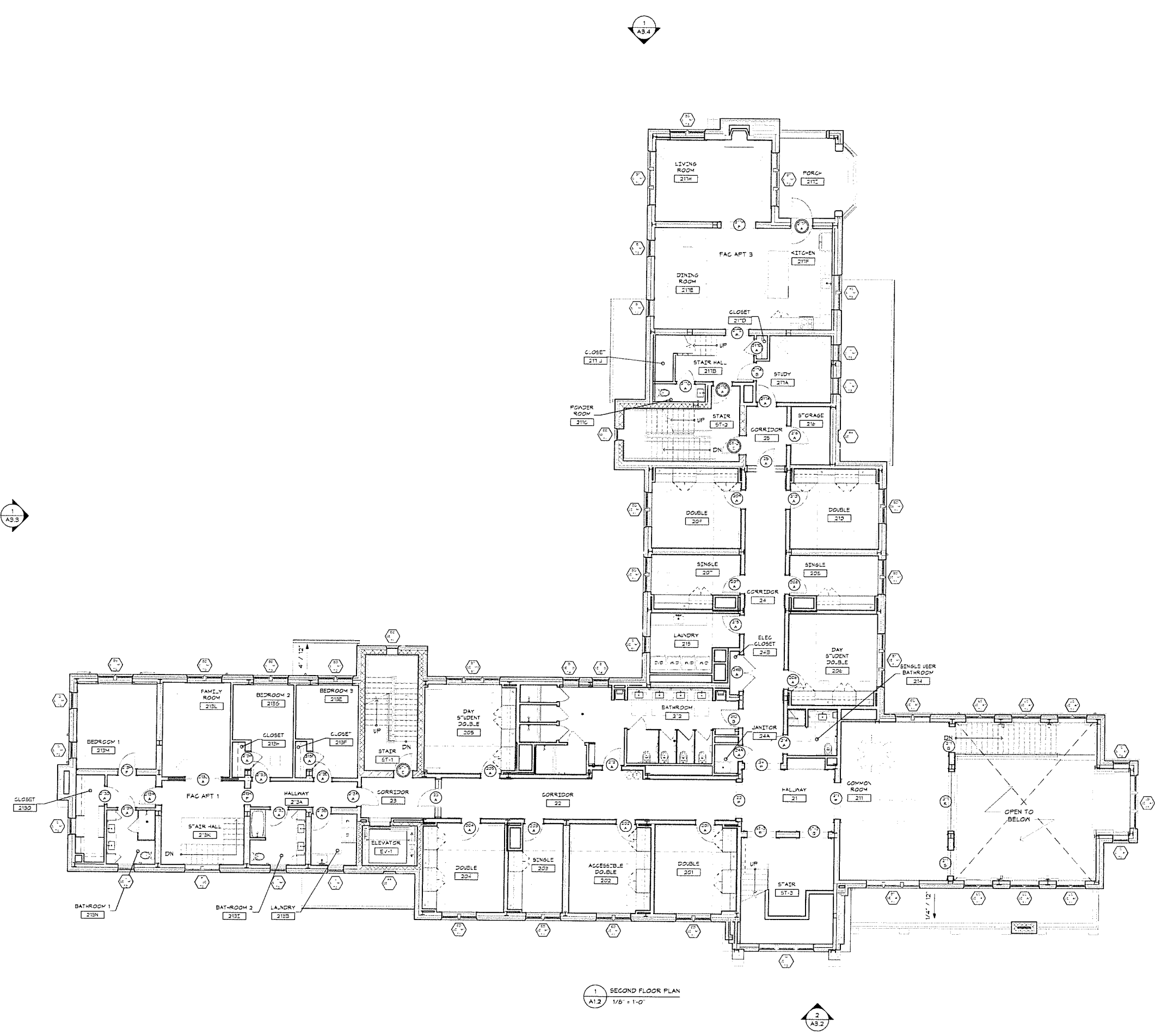
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Revision
Date January 21, 2026
Title SECOND FLOOR PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



1 SECOND FLOOR PLAN
A1.2 1/8" = 1'-0"

1
A3.2

1
A3.1

2
A3.2



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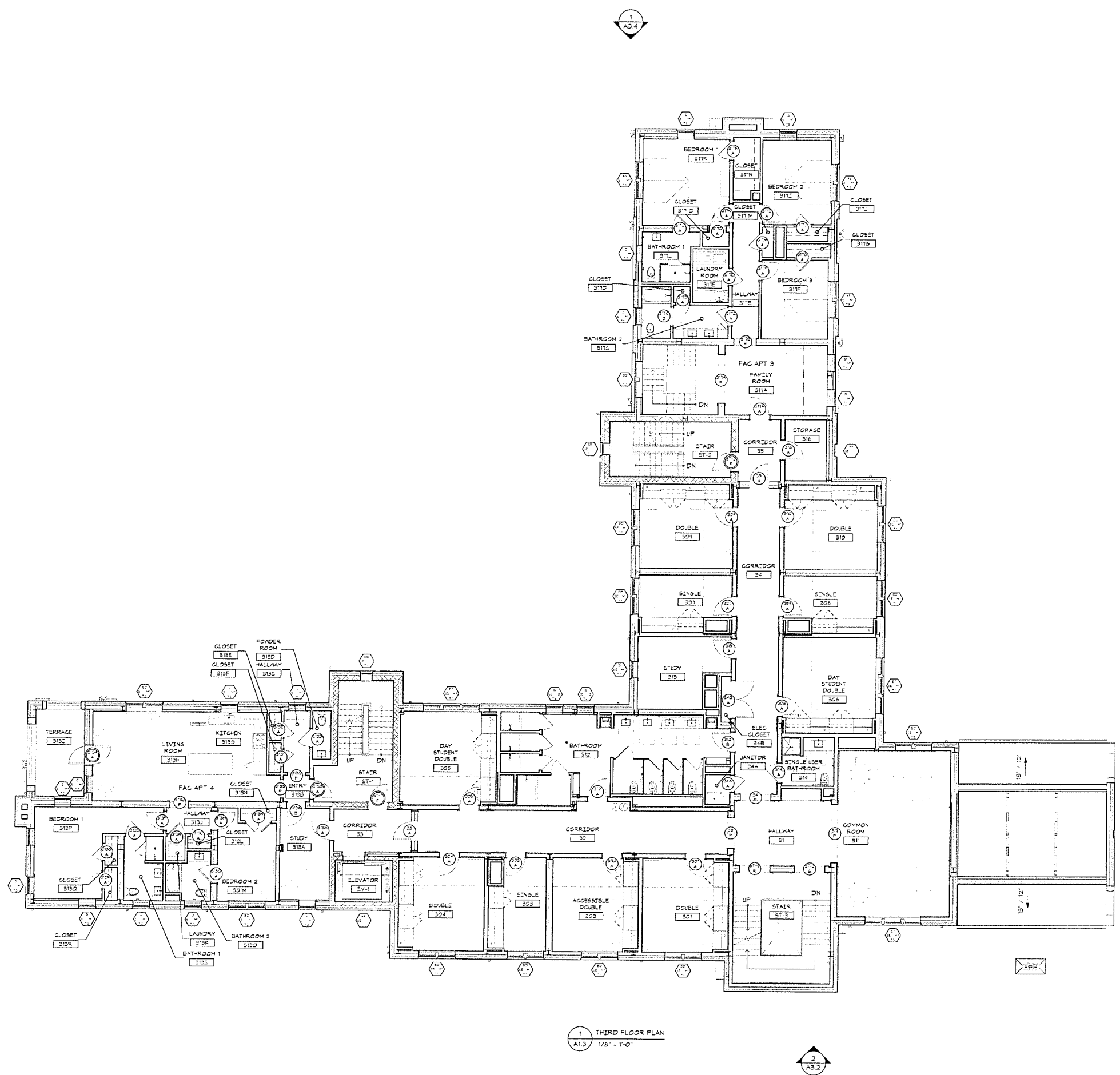
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ZONING SUBMISSION
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Revision
Date January 21, 2026
Title THIRD FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.3

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



1 THIRD FLOOR PLAN
A1.3 1/8" = 1'-0"



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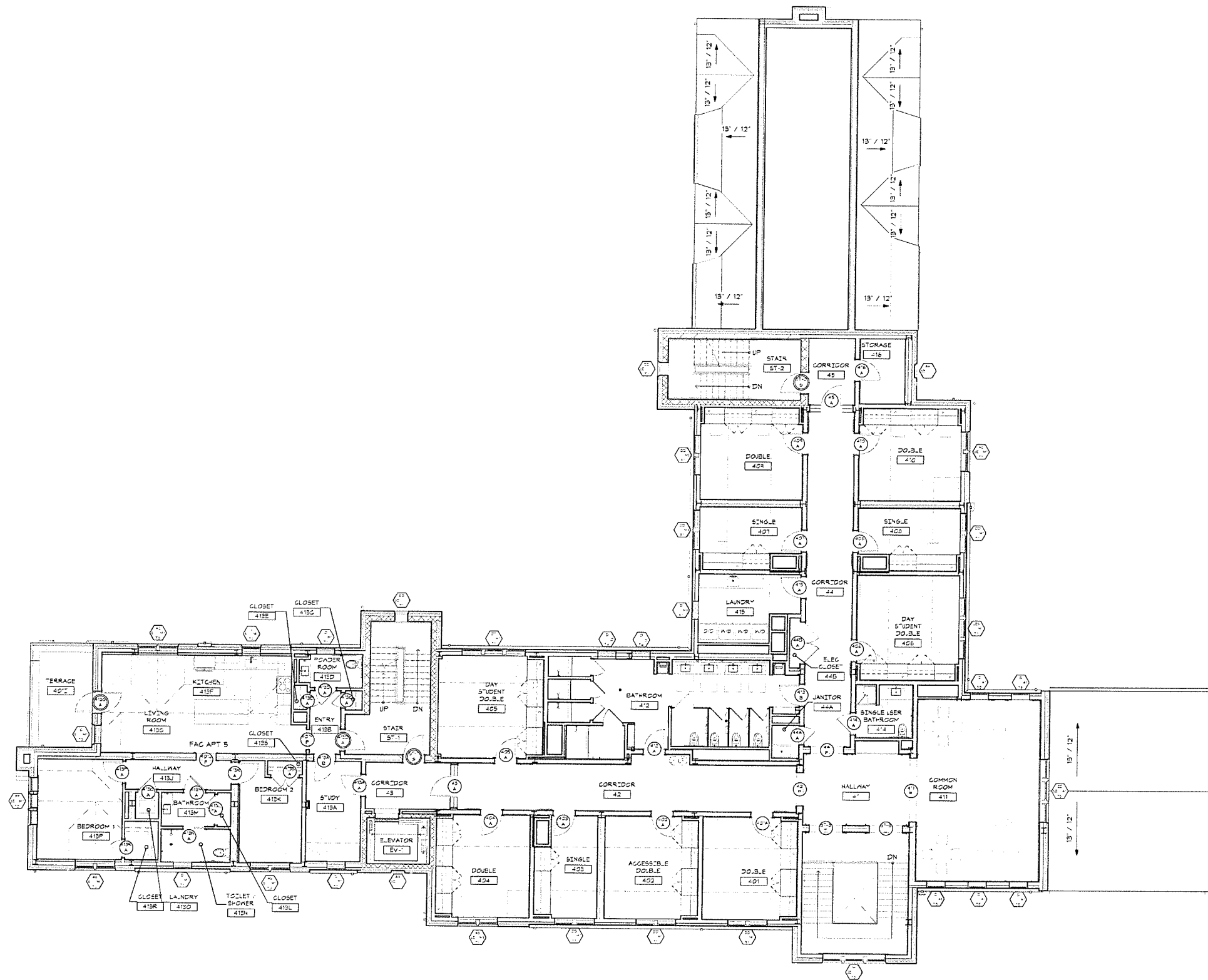
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Revision
Date January 21, 2026
Title FOURTH FLOOR PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.4

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



1 FOURTH FLOOR PLAN
A1.4 1/8" = 1'-0"

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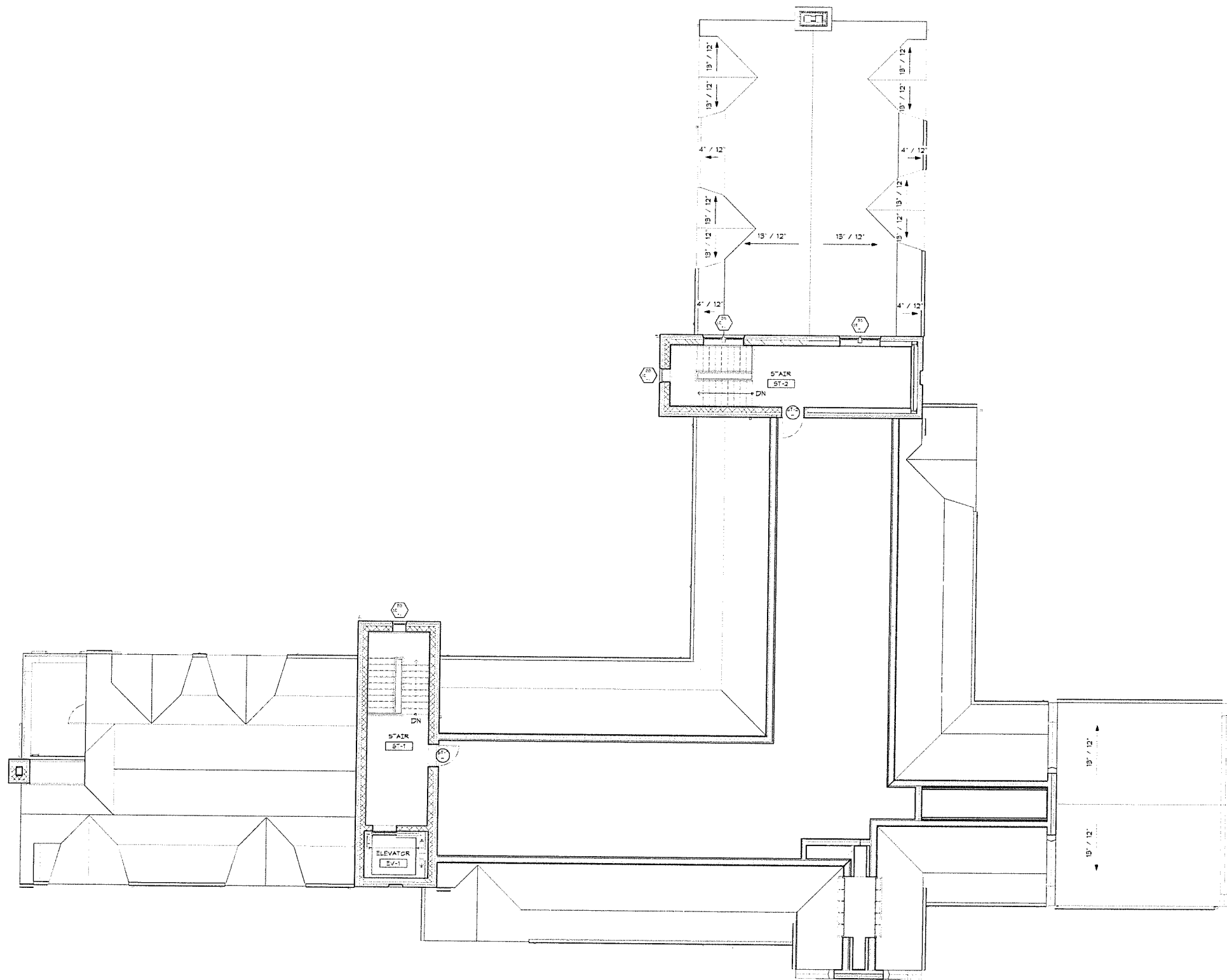
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Revision
Date January 21, 2026
Title ATTIC FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.5

Consultor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



1 ATTIC PLAN
A1.5 1/8" = 1'-0"

2
A3.2



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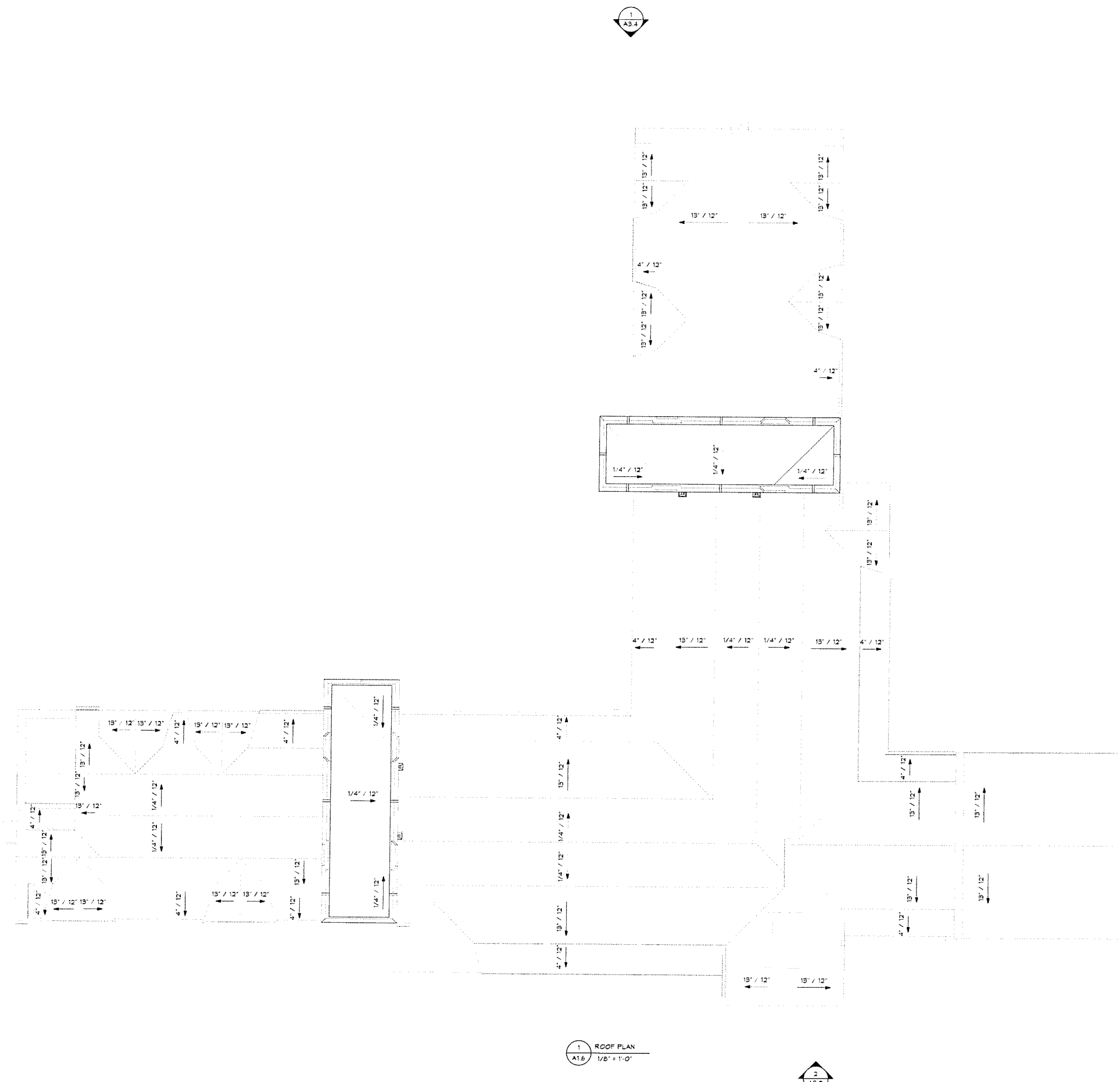
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Revision
Date January 21, 2026
Title ROOF PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.6

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



1 ROOF PLAN
A1.6 1/8" = 1'-0"



GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 619.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

- DOORS: PROVIDE 2 1/4" STAINED MAHOGANY
STYLE-AND-RAIL DOORS W/ PANEL PATTERN AS
SHOWN. INCLUDE STAINED WOOD MULLIONS AND
TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
- WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPE'S
- BRICK VENEER: MATCH COLOR AND AGGREGATE OF
BRICK USED ON CHARLES PHELPS TAFT HALL

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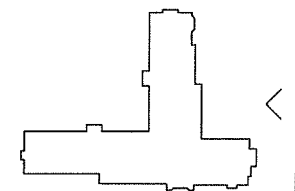
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A3.1

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1 SOUTH ELEVATION
A3.1 1/8" = 1'-0"



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 FINISH FLOOR ELEVATION OF THE FIRST FLOOR
 (0'-0") IS AT 619.5'. REFER TO CIVIL & LANDSCAPE
 DRAWINGS

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 LEADED GLAZING AT LITES WHERE SHOWN.
 HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
 WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
 DESIGN: HOPE'S.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF
 BRICK USED ON CHARLES PHELPS TAFT HALL.

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 phone 215-751-1133

LIGHTING DESIGN
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 1816 S. 2nd St
 Philadelphia, PA 19148
 phone 215-518-4788

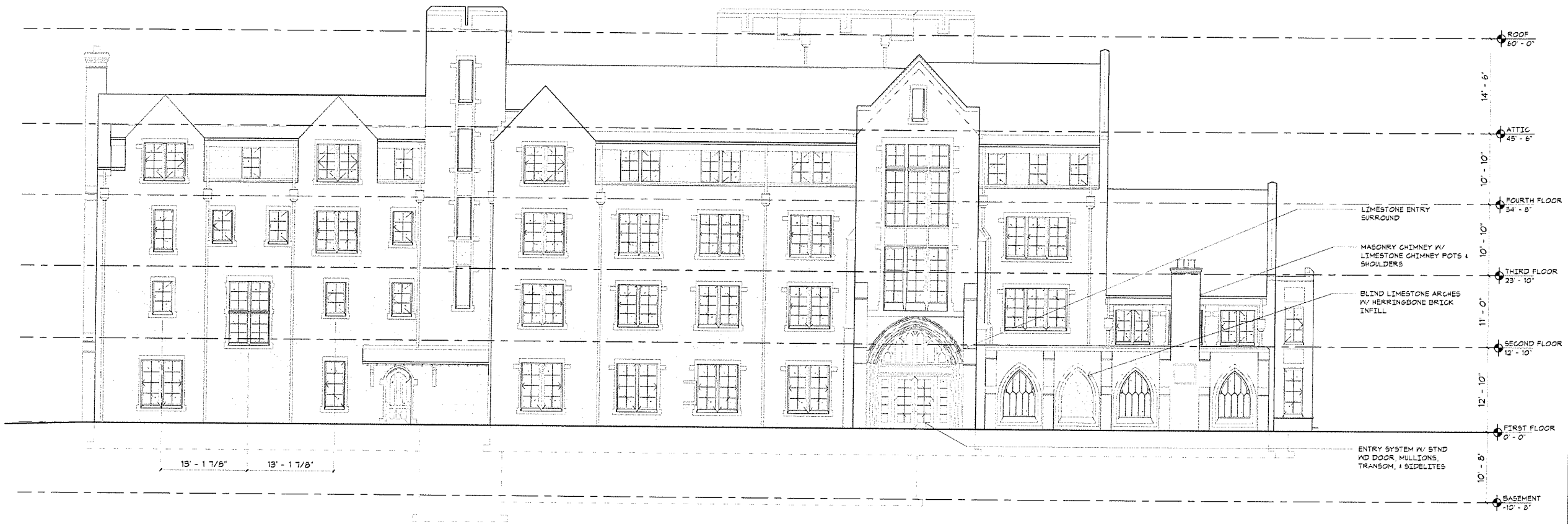
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Revision
 Date January 21, 2026
 Title ELEVATIONS

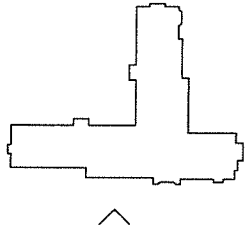
Scale As indicated
 Drawn By RPD, JT, JPS

A3.2

Contractor to verify all dimensions in field and inform
 Architect of any discrepancies before starting work.



2 WEST ELEVATION
 A3.2 1/8" = 1'-0"



GENERAL NOTE:
 FINISH FLOOR ELEVATION OF THE FIRST FLOOR
 (0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
 DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY
 STYLE-AND-RAIL DOORS W/ PANEL PATTERN AS
 SHOWN. INCLUDE STAINED WOOD MULLIONS AND
 TRANSOMS WHERE INDICATED. PROVIDE FAUX
 LEADED GLAZING AT LITES WHERE SHOWN.
 HARDWARE TO BE STEEL HISTORIC REPLICA
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
 WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
 DESIGN: HOPE'S.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF
 BRICK USED ON CHARLES PHELPS TAFT HALL.

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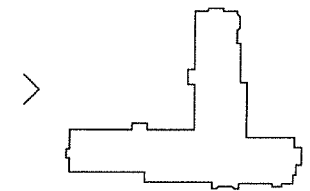
Scale As indicated
 Drawn By RPD, JT, JPS

A3.3

Contractor to verify all dimensions in field and inform
 Architect of any discrepancies before starting work



1 NORTH ELEVATION
 A3.3 1/8" = 1'-0"



GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 610.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY
STILE-AND-RAIL DOORS W/ PANEL PATTERN AS
SHOWN. INCLUDE STAINED WOOD MULLIONS AND
TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPE'S.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF
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Revision
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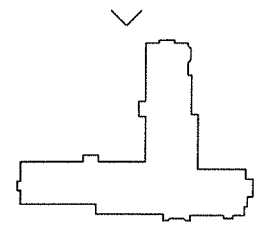
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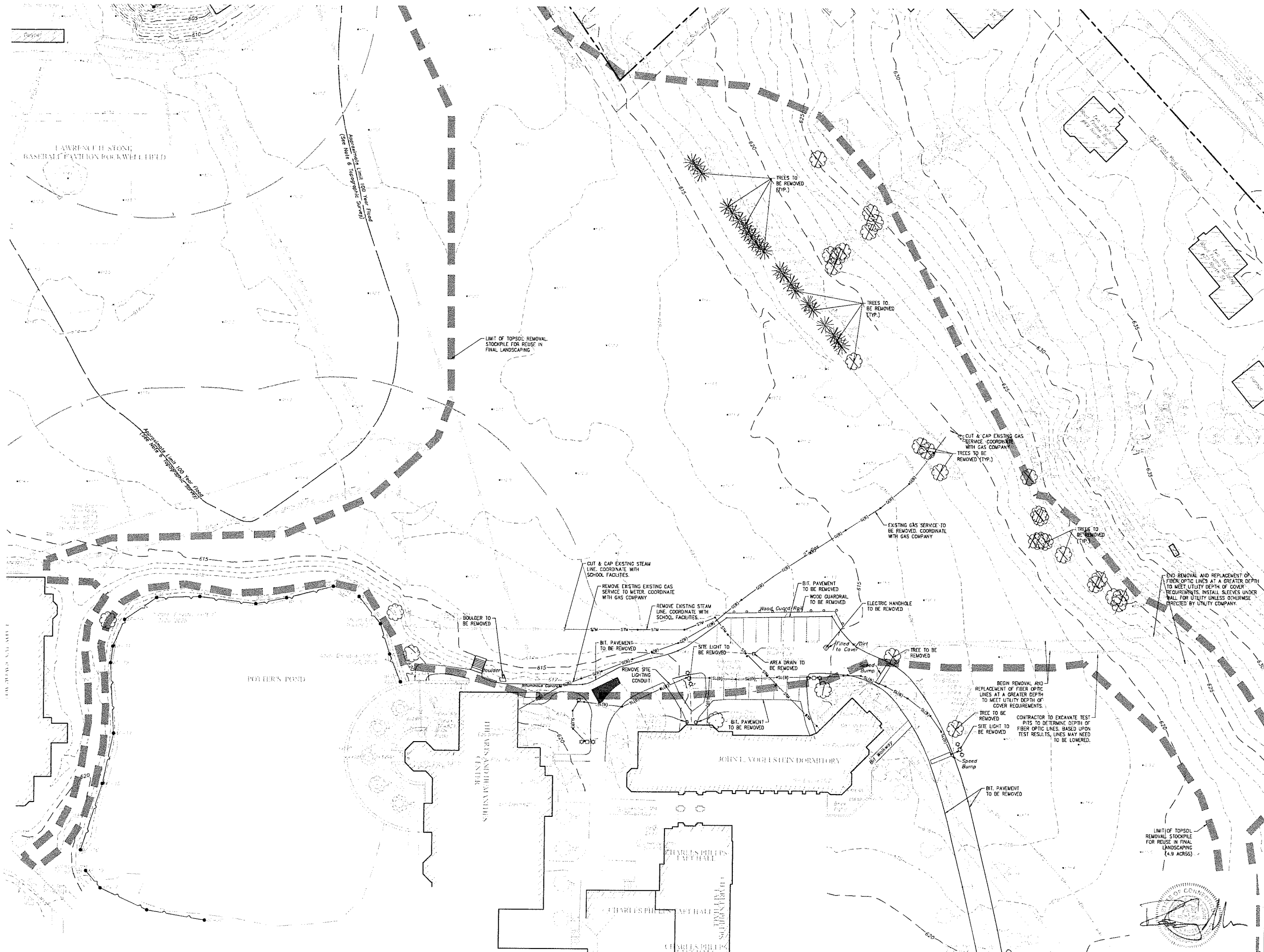
A3.4

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



1 EAST ELEVATION
A3.4 1/8" = 1'-0"





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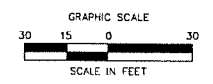
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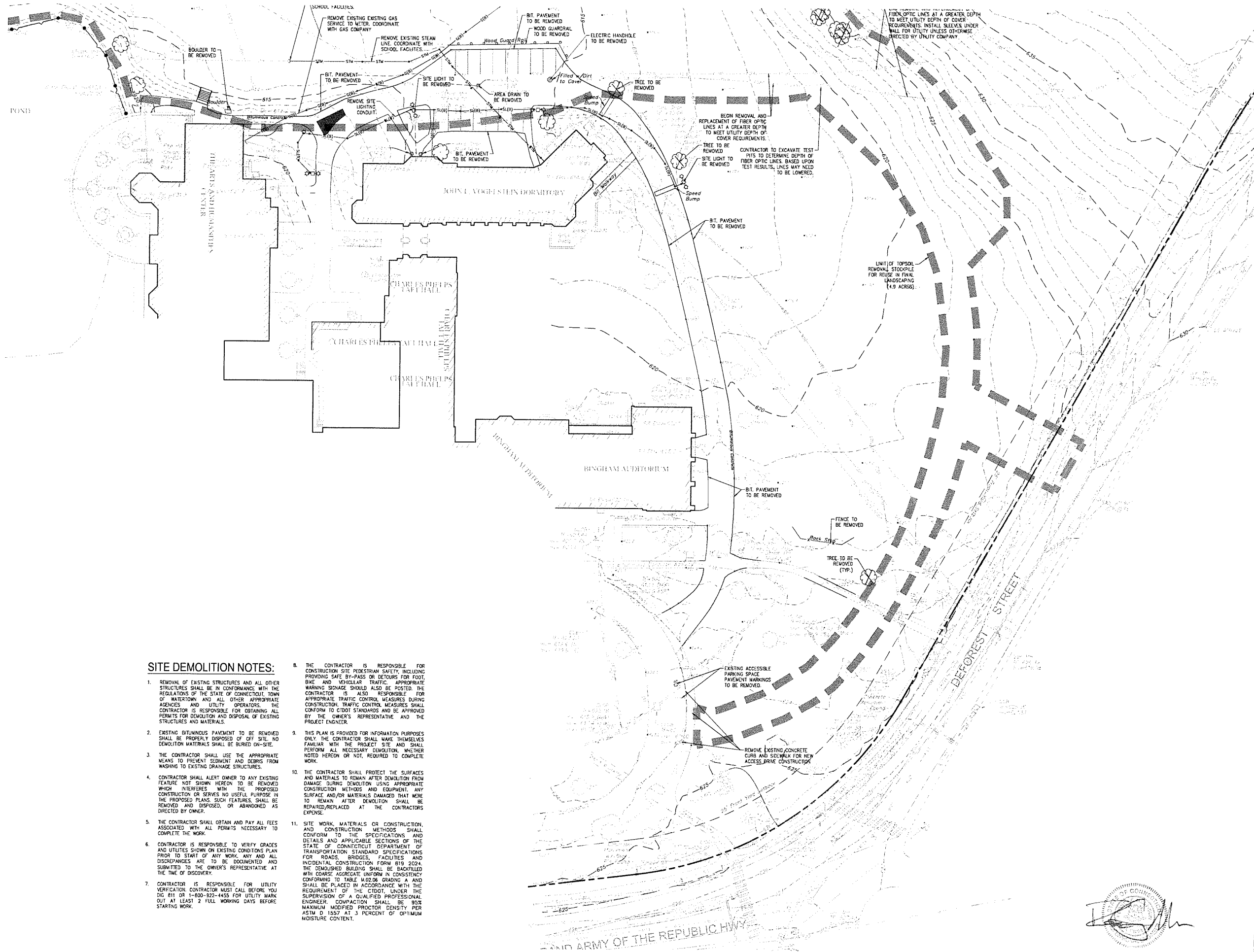


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Revision
 Date January 21, 2026
 Title DORM 1 & 2
 DEMOLITION PLAN
 Scale 1"=30'
 Drawn By HT/RR

C1.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



SITE DEMOLITION NOTES:

1. REMOVAL OF EXISTING STRUCTURES AND ALL OTHER STRUCTURES SHALL BE IN CONFORMANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT, TOWN OF WATERLOO AND ALL OTHER APPROPRIATE AGENCIES AND UTILITY OPERATORS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
2. EXISTING BITUMINOUS PAVEMENT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF OFF SITE. NO DEMOLITION MATERIALS SHALL BE BURIED ON-SITE.
3. THE CONTRACTOR SHALL USE THE APPROPRIATE MEANS TO PREVENT SEDIMENT AND DEBRIS FROM WASHING TO EXISTING DRAINAGE STRUCTURES.
4. CONTRACTOR SHALL ALERT OWNER TO ANY EXISTING FEATURE NOT SHOWN HEREON TO BE REMOVED WHICH INTERFERES WITH THE PROPOSED CONSTRUCTION OR SERVES NO USEFUL PURPOSE IN THE PROPOSED PLANS. SUCH FEATURES SHALL BE REMOVED AND DISPOSED, OR ABANDONED AS DIRECTED BY OWNER.
5. THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS NECESSARY TO COMPLETE THE WORK.
6. CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES SHOWN ON EXISTING CONDITIONS PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO THE OWNER'S REPRESENTATIVE AT THE TIME OF DISCOVERY.
7. CONTRACTOR IS RESPONSIBLE FOR UTILITY VERIFICATION. CONTRACTOR MUST CALL BEFORE YOU DIG (811 OR 1-800-922-4455 FOR UTILITY MARK OUT) AT LEAST 2 FULL WORKING DAYS BEFORE STARTING WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE PEDESTRIAN SAFETY, INCLUDING PROVIDING SAFE BY-PASS OR DETOURS FOR FOOT, BIKE AND VEHICULAR TRAFFIC. APPROPRIATE WARNING SIGNAGE SHOULD ALSO BE POSTED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR APPROPRIATE TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. TRAFFIC CONTROL MEASURES SHALL CONFORM TO CTDOT STANDARDS AND BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE PROJECT ENGINEER.
9. THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE PROJECT SITE AND SHALL PERFORM ALL NECESSARY DEMOLITION, WHETHER NOTED HEREON OR NOT, REQUIRED TO COMPLETE WORK.
10. THE CONTRACTOR SHALL PROTECT THE SURFACES AND MATERIALS TO REMAIN AFTER DEMOLITION FROM DAMAGE DURING DEMOLITION USING APPROPRIATE CONSTRUCTION METHODS AND EQUIPMENT. ANY SURFACE AND/OR MATERIALS DAMAGED THAT WERE TO REMAIN AFTER DEMOLITION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
11. SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 619 2024. THE DEMOLISHED BUILDING SHALL BE BACKFILLED WITH COARSE AGGREGATE UNIFORM IN CONSISTENCY CONFORMING TO TABLE W02.06 GRADING A AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT. UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER, COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.

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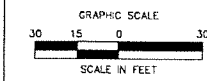
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Revision	
Date	January 21, 2026
Title	DORM 1 & 2
	DEMOLITION PLAN
Scale	1"=30'
Drawn By	HT/RR

C1.2



Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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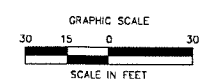
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Revision	
Date	January 21, 2026
Title	DORM 1 & 2
Scale	1"=30'
Drawn By	HT/RR

C1.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work





Legend

EXISTING	PROPOSED
YARD DRAIN	YARD DRAIN
STORM DRAINAGE PIPE	STORM DRAINAGE PIPE
CURB INLET CATCH BASIN	CURB INLET CATCH BASIN
DRAINAGE MANHOLE	DRAINAGE MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
ROOF LEADER PIPE	ROOF LEADER PIPE
FOOTING DRAIN PIPE	FOOTING DRAIN PIPE

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 keasthood.com

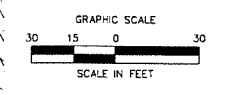
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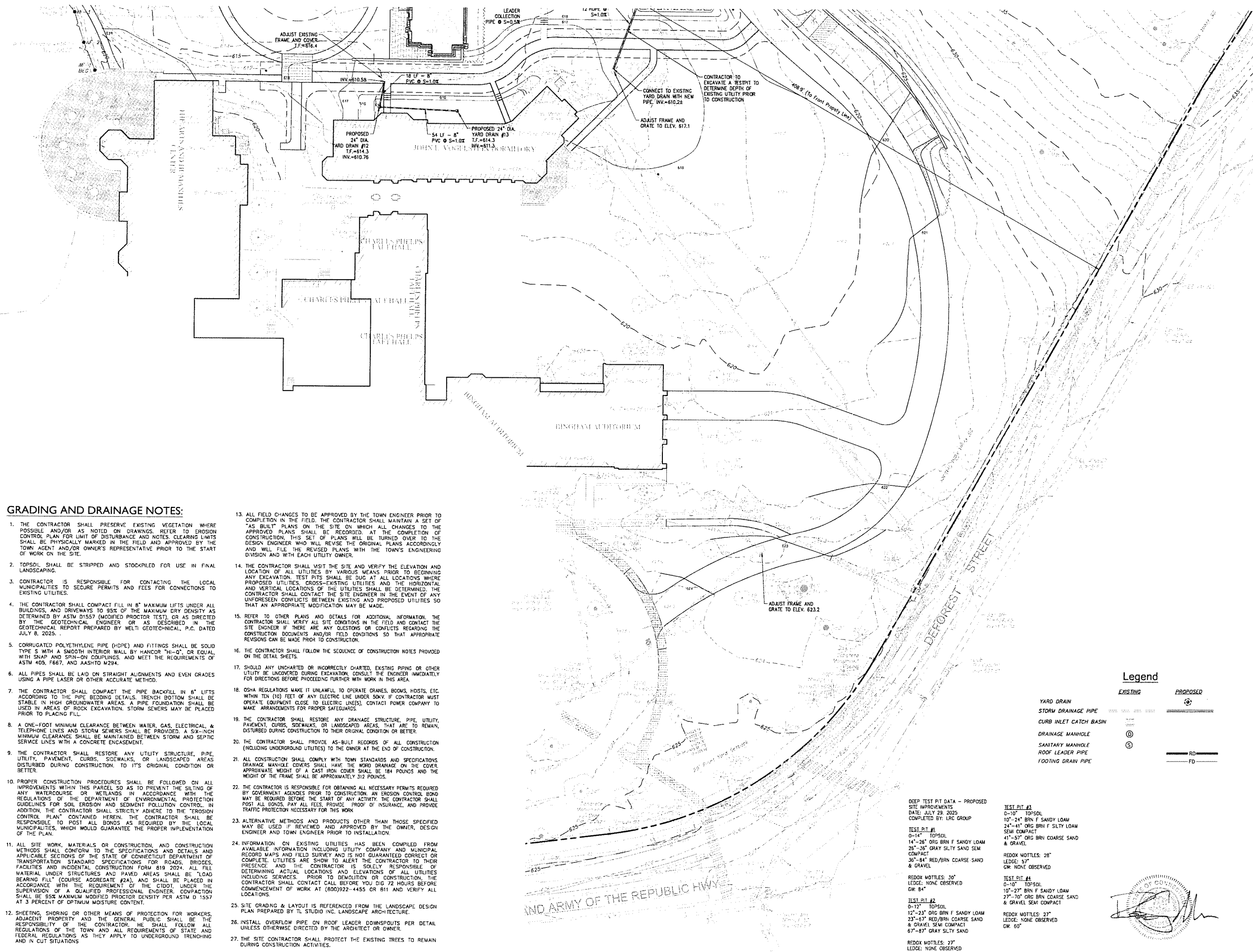
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Revision
 Date January 21, 2026
 Title DORM 1 & 2 - DRAINAGE PLAN
 Scale 1"=30'
 Drawn By HT/RR

C2.1



Contractor to verify all dimensions in field and return. Any deviation of any discrepancies before starting work.

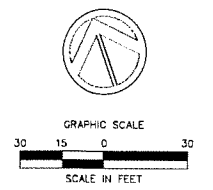


GRADING AND DRAINAGE NOTES:

- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN AGENT AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK ON THE SITE.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST) OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS DESCRIBED IN THE GEOTECHNICAL REPORT PREPARED BY WELT GEOTECHNICAL, P.C. DATED JULY 8, 2023.
- CORRUGATED POLYETHYLENE PIPE (HDPE) AND FITTINGS SHALL BE SOLID TYPE S WITH A SMOOTH INTERIOR WALL BY HANCOCK "HI-Q", OR EQUAL WITH SNAP AND SPIN-ON COUPLINGS, AND MEET THE REQUIREMENTS OF ASTM 405, F667, AND AASHTO M294.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, & TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SEPTIC SERVICE LINES WITH A CONCRETE ENCASMENT.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION OR BETTER.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 819 2024. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (GRADE AGGREGATE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CIDD1, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
- ALL FIELD CHANGES TO BE APPROVED BY THE TOWN ENGINEER PRIOR TO COMPLETION IN THE FIELD. THE CONTRACTOR SHALL MAINTAIN A SET OF "AS BUILT" PLANS ON THE SITE ON WHICH ALL CHANGES TO THE APPROVED PLANS SHALL BE RECORDED. AT THE COMPLETION OF CONSTRUCTION, THIS SET OF PLANS WILL BE TURNED OVER TO THE DESIGN ENGINEER WHO WILL REVISE THE ORIGINAL PLANS ACCORDINGLY AND WILL FILE THE REVISED PLANS WITH THE TOWN'S ENGINEERING DIVISION AND WITH EACH UTILITY OWNER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY UNFORESSEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- REFER TO OTHER PLANS AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE DETAIL SHEETS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BROWS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS THAT ARE TO REMAIN, DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH TOWN STANDARDS AND SPECIFICATIONS. DRAINAGE MANHOLE COVERS SHALL HAVE THE WORD "DRAINAGE" ON THE COVER. APPROXIMATE WEIGHT OF A CAST IRON COVER SHALL BE 184 POUNDS AND THE WEIGHT OF THE FRAME SHALL BE APPROXIMATELY 312 POUNDS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. AN EROSION CONTROL BOND MAY BE REQUIRED BEFORE THE START OF ANY ACTIVITY. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE "PROOF" OF INSURANCE, AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THIS WORK.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, DESIGN ENGINEER AND TOWN ENGINEER PRIOR TO INSTALLATION.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE OF DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922-4455 OR 811 AND VERIFY ALL LOCATIONS.
- SITE GRADING & LAYOUT IS REFERENCED FROM THE LANDSCAPE DESIGN PLAN PREPARED BY TL STUDIO INC. LANDSCAPE ARCHITECTURE.
- INSTALL OVERFLOW PIPE ON ROOF LEADER DOWNSPOUTS PER DETAIL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT OR OWNER.
- THE SITE CONTRACTOR SHALL PROTECT THE EXISTING TREES TO REMAIN DURING CONSTRUCTION ACTIVITIES.

Legend

EXISTING	PROPOSED
YARD DRAIN	YARD DRAIN
STORM DRAINAGE PIPE	STORM DRAINAGE PIPE
CURB INLET CATCH BASIN	CURB INLET CATCH BASIN
DRAINAGE MANHOLE	DRAINAGE MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
ROOF LEADER PIPE	ROOF LEADER PIPE
FOOTING DRAIN PIPE	FOOTING DRAIN PIPE



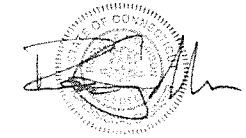
DEEP TEST PIT DATA - PROPOSED
 SITE IMPROVEMENTS
 DATE: JULY 29, 2025
 COMPLETED BY: LRC GROUP

TEST PIT #1
 0'-14" TOPSOIL
 14"-26" ORG BRN F SANDY LOAM
 26"-36" GRAY SILTY SAND SEM COMPACT
 36"-84" RED/BRN COARSE SAND & GRAVEL
 REDOX MOTTLES: 30"
 LEDGE: NONE OBSERVED
 GW: 84"

TEST PIT #2
 0'-10" TOPSOIL
 10"-23" ORG BRN F SANDY LOAM
 23"-57" RED/BRN COARSE SAND & GRAVEL SEM COMPACT
 57"-87" GRAY SILTY SAND
 REDOX MOTTLES: 27"
 LEDGE: NONE OBSERVED
 GW: 87"

TEST PIT #3
 0'-10" TOPSOIL
 10"-24" BRN F SANDY LOAM
 24"-41" ORG BRN F SILTY LOAM SEM COMPACT
 41"-57" ORG BRN COARSE SAND & GRAVEL
 REDOX MOTTLES: 28"
 LEDGE: 57"
 GW: NONE OBSERVED

TEST PIT #4
 0'-10" TOPSOIL
 10"-27" BRN F SANDY LOAM
 27"-70" ORG BRN COARSE SAND & GRAVEL SEM COMPACT
 REDOX MOTTLES: 27"
 LEDGE: NONE OBSERVED
 GW: 60"



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Revision
 Date January 21, 2026
 Title DORM 1 & 2 - DRAINAGE PLAN

Scale 1"=30'
 Drawn By HT/RR

C2.2

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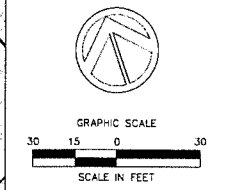
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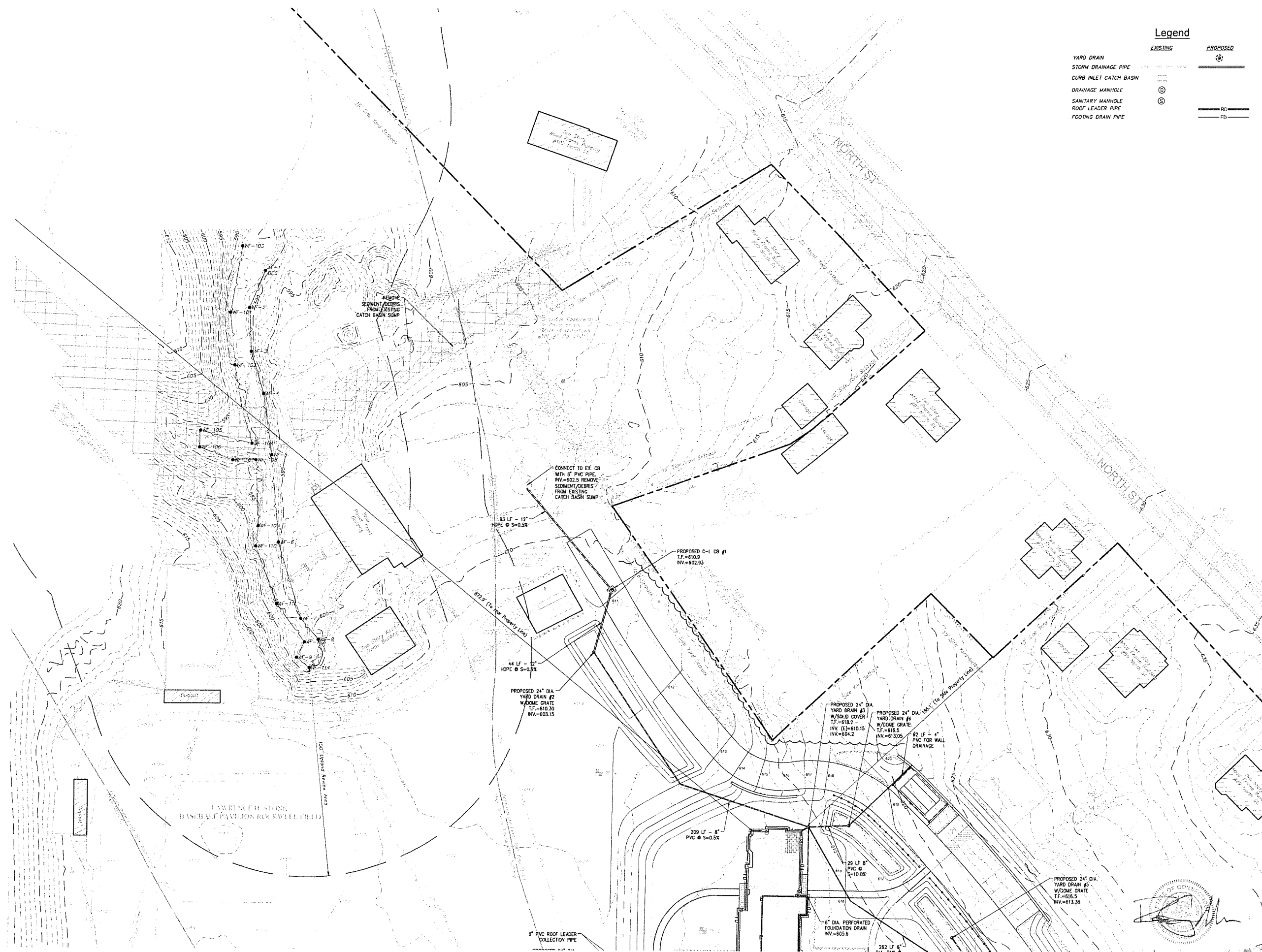
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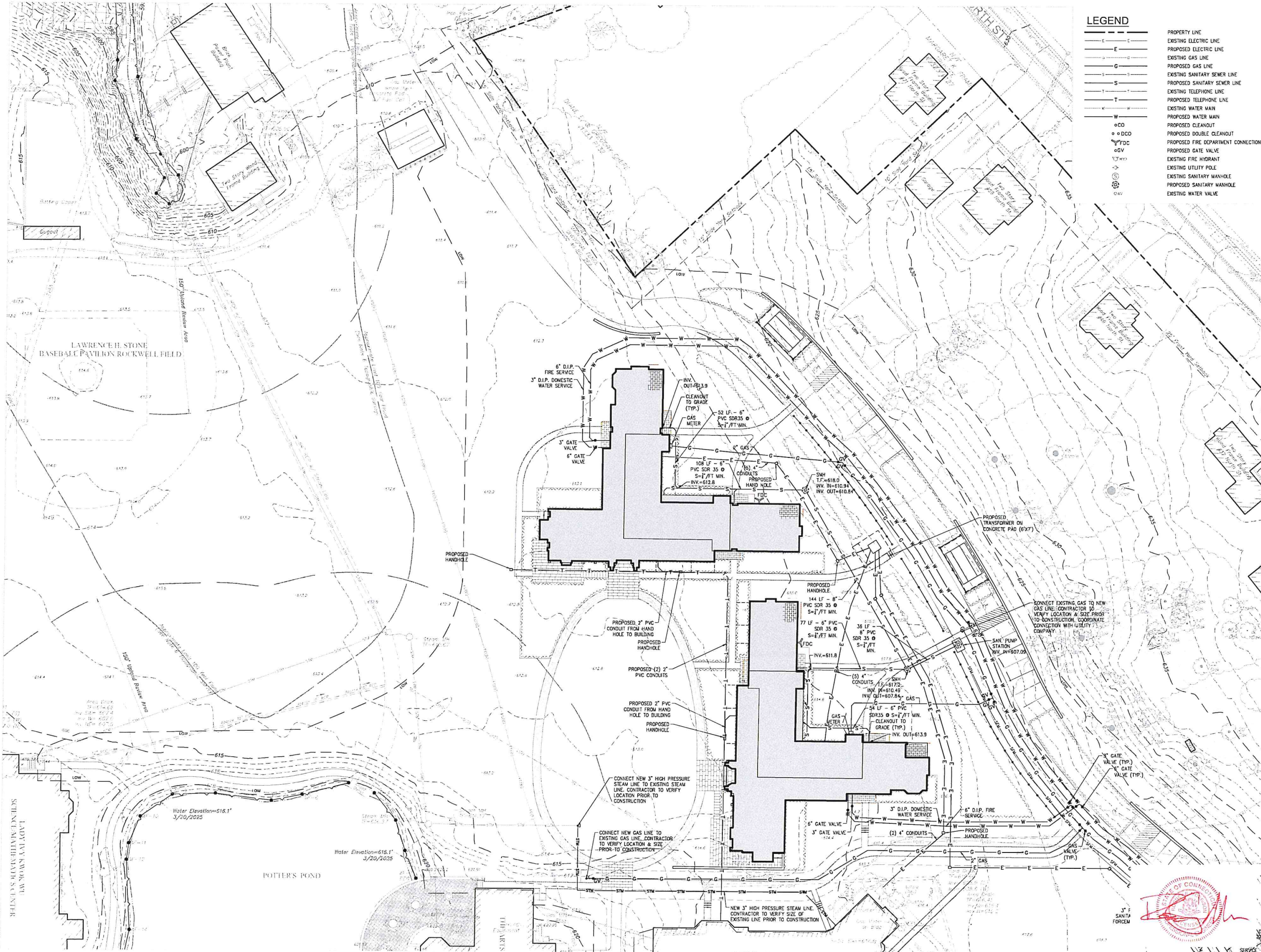
C2.3

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Legend

EXISTING	PROPOSED
YARD DRAIN	—●—
STORM DRAINAGE PIPE	—●—
CURB INLET CATCH BASIN	—●—
DRAINAGE MANHOLE	⊙
SANITARY MANHOLE	⊙
ROOF LEADER PIPE	—●—
FOOTING DRAIN PIPE	—●—





LEGEND

---	PROPERTY LINE
---	EXISTING ELECTRIC LINE
---	PROPOSED ELECTRIC LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED TELEPHONE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
○	PROPOSED CLEANOUT
○	PROPOSED DOUBLE CLEANOUT
○	PROPOSED FIRE DEPARTMENT CONNECTION
○	PROPOSED GATE VALVE
○	EXISTING FIRE HYDRANT
○	EXISTING UTILITY POLE
○	EXISTING SANITARY MANHOLE
○	PROPOSED SANITARY MANHOLE
○	EXISTING WATER VALVE

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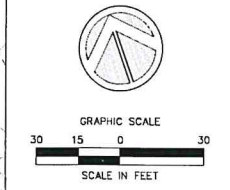
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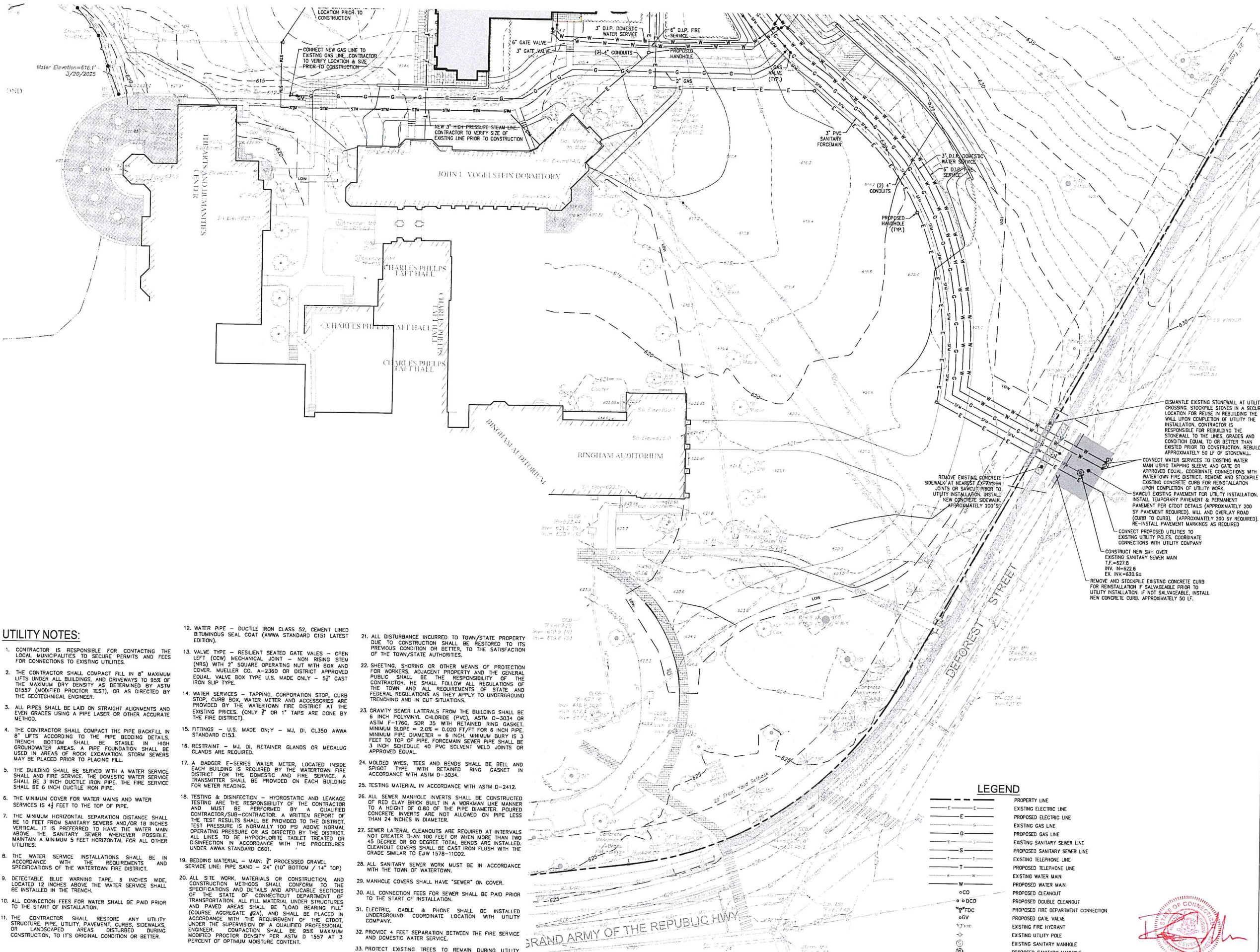
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 SITE UTILITIES PLAN
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C3.1

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UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- THE BUILDING SHALL BE SERVED WITH A WATER SERVICE AND FIRE SERVICE. THE DOMESTIC WATER SERVICE SHALL BE 3 INCH DUCTILE IRON PIPE. THE FIRE SERVICE SHALL BE 6 INCH DUCTILE IRON PIPE.
- THE MINIMUM COVER FOR WATER MAINS AND WATER SERVICES IS 4 1/2 FEET TO THE TOP OF PIPE.
- THE MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE 10 FEET FROM SANITARY SEWERS AND/OR 18 INCHES VERTICAL. IT IS PREFERRED TO HAVE THE WATER MAIN ABOVE THE SANITARY SEWER WHENEVER POSSIBLE. MAINTAIN A MINIMUM 5 FEET HORIZONTAL FOR ALL OTHER UTILITIES.
- THE WATER SERVICE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATERTOWN FIRE DISTRICT.
- DETECTABLE BLUE WARNING TAPE, 6 INCHES WIDE, LOCATED 12 INCHES ABOVE THE WATER SERVICE SHALL BE INSTALLED IN THE TRENCH.
- ALL CONNECTION FEES FOR WATER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO ITS ORIGINAL CONDITION OR BETTER.

- WATER PIPE - DUCTILE IRON CLASS 52, CEMENT LINED BITUMINOUS SEAL COAT (AWWA STANDARD C151 LATEST EDITION).
- VALVE TYPE - RESILIENT SEATED GATE VALVES - OPEN LEFT (CCW) MECHANICAL JOINT - NON RISING STEM (NRS) WITH 2" SQUARE OPERATING NUT WITH BOX AND COVER. MUELLER CO. A-2360 OR DISTRICT APPROVED EQUAL VALVE BOX TYPE U.S. MADE ONLY - 52" CAST IRON SLIP TYPE.
- WATER SERVICES - TAPPING, CORPORATION STOP, CURB STOP, CURB BOX, WATER METER AND ACCESSORIES ARE PROVIDED BY THE WATERTOWN FIRE DISTRICT AT THE EXISTING PRESS. ONLY 3" OR 1" TAPS ARE DONE BY THE FIRE DISTRICT.
- FITTINGS - U.S. MADE ONLY - MJ, DI, CL350 AWWA STANDARD C153.
- RESTRAINT - MJ, DI, RETAINER GLANDS OR MEGALUG GLANDS ARE REQUIRED.
- A BADGER E-SERIES WATER METER, LOCATED INSIDE EACH BUILDING IS REQUIRED BY THE WATERTOWN FIRE DISTRICT FOR THE DOMESTIC AND FIRE SERVICE. A TRANSMITTER SHALL BE PROVIDED ON EACH BUILDING FOR METER READING.
- TESTING & DISINFECTION - HYDROSTATIC AND LEAKAGE TESTING ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE PERFORMED BY A QUALIFIED CONTRACTOR/SUB-CONTRACTOR. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE PROVIDED TO THE DISTRICT. TEST PRESSURE IS NORMALLY 100 PSI ABOVE NORMAL OPERATING PRESSURE OR AS DIRECTED BY THE DISTRICT. ALL LINES TO BE HYPOCHLORITE TABLET TREATED OR DISINFECTION IN ACCORDANCE WITH THE PROCEDURES UNDER AWWA STANDARD C601.
- BEDDING MATERIAL - MAIN: 3" PROCESSED GRAVEL SERVICE LINE: PIPE SAND - 24" (10" BOTTOM / 14" TOP)
- ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COURSE AGGREGATE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT. UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.

- ALL DISTURBANCE INCURRED TO TOWN/STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN/STATE AUTHORITIES.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
- GRAVITY SEWER LATERALS FROM THE BUILDING SHALL BE 6 INCH POLYVINYL CHLORIDE (PVC), ASTM D-3034 OR ASTM F-1760, SDR 35 WITH RETAINED RING GASKET. MINIMUM SLOPE = 2.0% = 0.020 FT/FT FOR 6 INCH PIPE. MINIMUM PIPE DIAMETER = 6 INCH. MINIMUM BURY IS 3 FEET TO TOP OF PIPE. FORCEMAIN SEWER PIPE SHALL BE 3 INCH SCHEDULE 40 PVC SOLVENT WELD JOINTS OR APPROVED EQUAL.
- MOLDED WYES, TEES AND BENDS SHALL BE BELL AND SPIGOT TYPE WITH RETAINED RING GASKET IN ACCORDANCE WITH ASTM D-3034.
- TESTING MATERIAL IN ACCORDANCE WITH ASTM D-2412.
- ALL SEWER MANHOLE INVERTS SHALL BE CONSTRUCTED OF RED CLAY BRICK BUILT IN A WORKMAN LIKE MANNER TO A HEIGHT OF 0.80 OF THE PIPE DIAMETER. POURED CONCRETE INVERTS ARE NOT ALLOWED ON PIPE LESS THAN 24 INCHES IN DIAMETER.
- SEWER LATERAL CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 100 FEET OR WHEN MORE THAN TWO 45 DEGREE OR 90 DEGREE TOTAL BENDS ARE INSTALLED. CLEANOUT COVERS SHALL BE CAST IRON FLUSH WITH THE GRADE SIMILAR TO EJM 1578-1102.
- ALL SANITARY SEWER WORK MUST BE IN ACCORDANCE WITH THE TOWN OF WATERTOWN.
- MANHOLE COVERS SHALL HAVE "SEWER" ON COVER.
- ALL CONNECTION FEES FOR SEWER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- ELECTRIC, CABLE & PHONE SHALL BE INSTALLED UNDERGROUND. COORDINATE LOCATION WITH UTILITY COMPANY.
- PROVIDE 4 FEET SEPARATION BETWEEN THE FIRE SERVICE AND DOMESTIC WATER SERVICE.
- PROTECT EXISTING TREES TO REMAIN DURING UTILITY INSTALLATION.

LEGEND

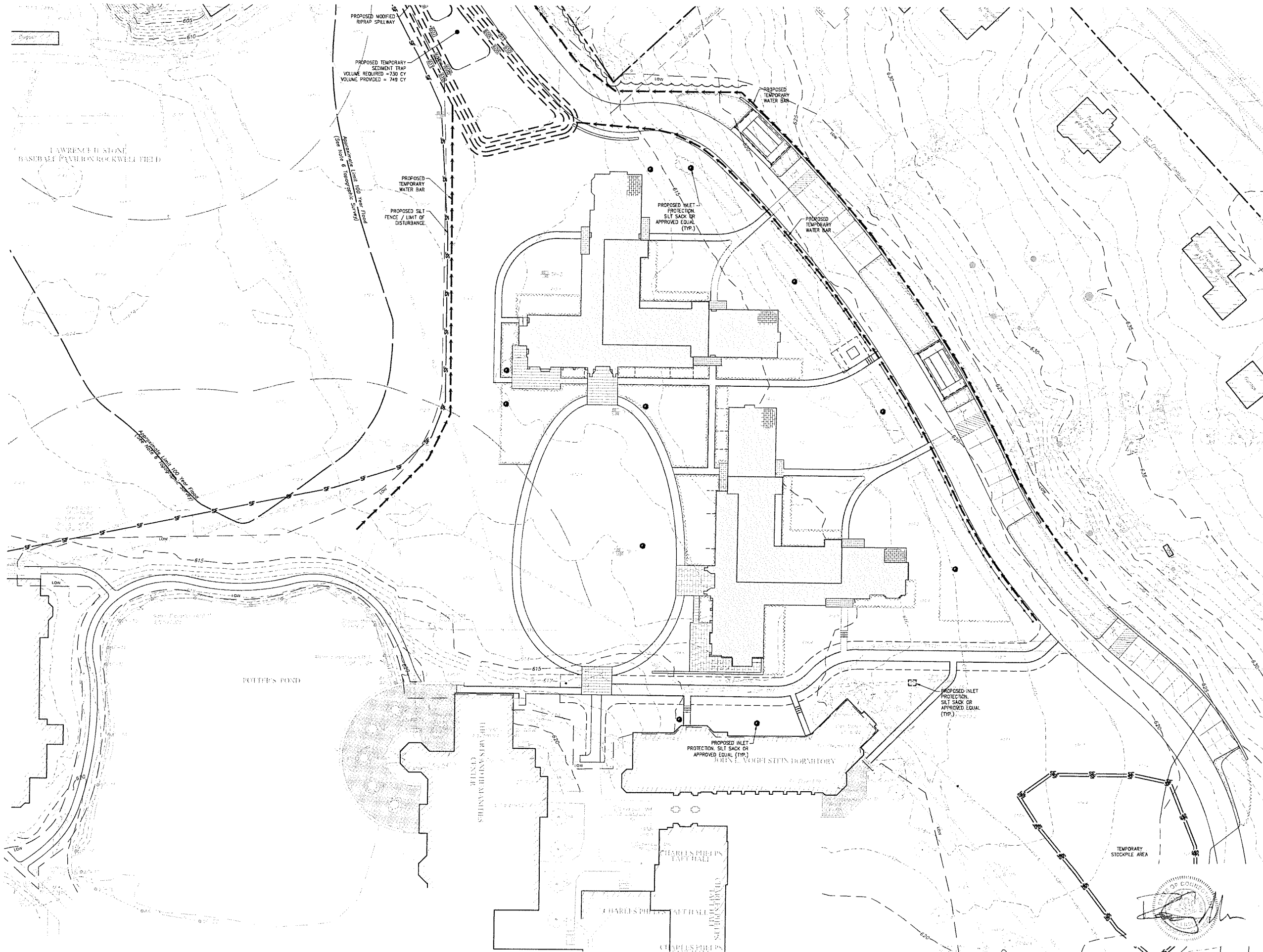
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---	EXISTING GAS LINE
---	PROPOSED GAS LINE
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---	PROPOSED SANITARY SEWER LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED TELEPHONE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
oCO	PROPOSED CLEANOUT
oDCO	PROPOSED DOUBLE CLEANOUT
oFDC	PROPOSED FIRE DEPARTMENT CONNECTION
oGV	PROPOSED GATE VALVE
oH	EXISTING FIRE HYDRANT
oU	EXISTING UTILITY POLE
oM	EXISTING SANITARY MANHOLE
oSM	PROPOSED SANITARY MANHOLE
oV	EXISTING WATER VALVE

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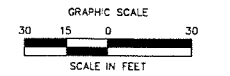
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C4.1

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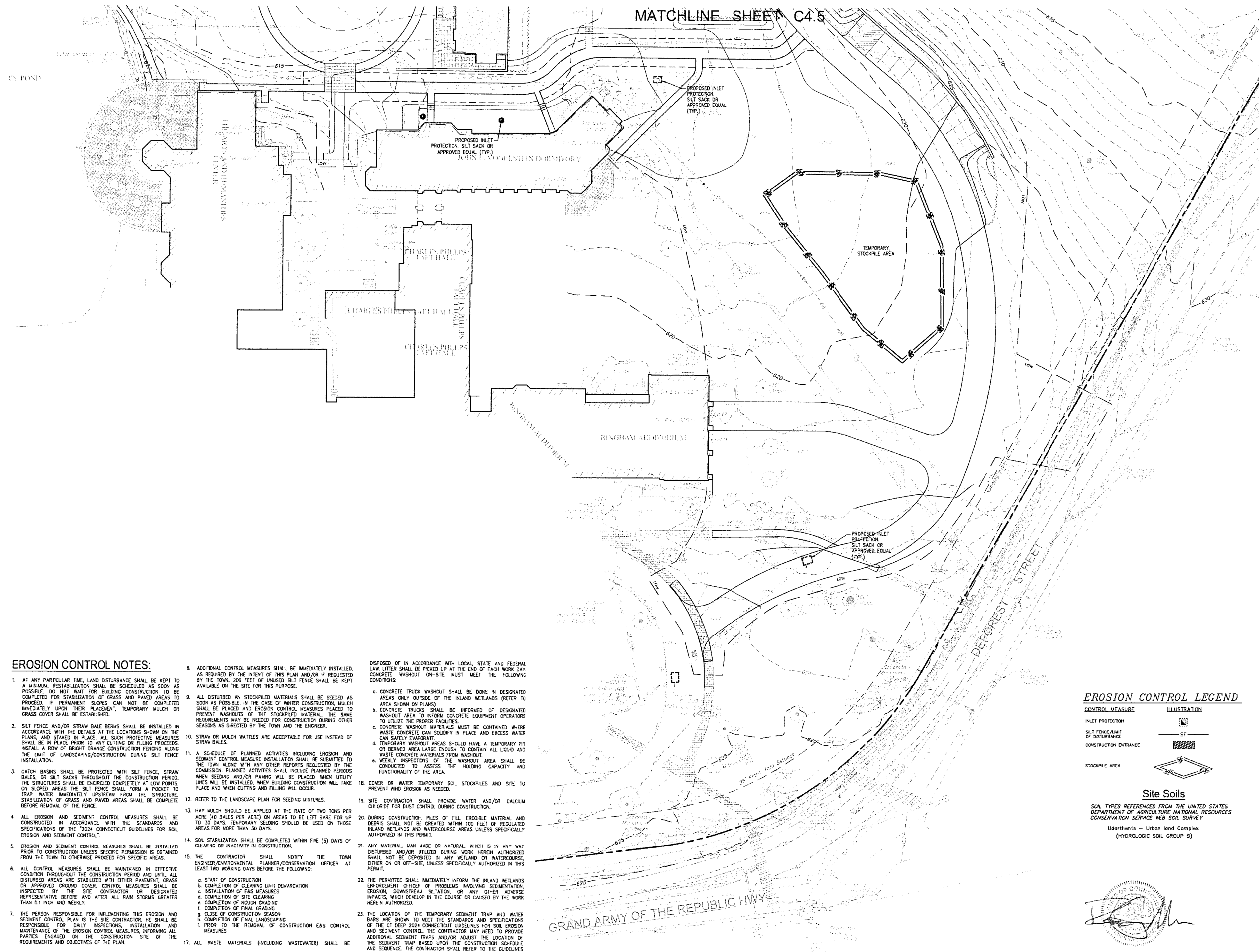
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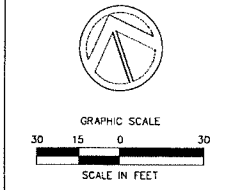
EROSION CONTROL NOTES:

1. AT ANY PARTICULAR TIME, LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS POSSIBLE. DO NOT WAIT FOR BUILDING CONSTRUCTION TO BE COMPLETED FOR STABILIZATION OF GRASS AND PAVED AREAS TO PROCEED. IF PERMANENT SLOPES CAN NOT BE COMPLETED IMMEDIATELY UPON THEIR PLACEMENT, TEMPORARY MULCH OR GRASS COVER SHALL BE ESTABLISHED.
2. SILT FENCE AND/OR STRAW BALE BERMS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AT THE LOCATIONS SHOWN ON THE PLANS, AND STAKED IN PLACE. ALL SUCH PROTECTIVE MEASURES SHALL BE IN PLACE PRIOR TO ANY CUTTING OR FILLING PROCEEDS. INSTALL A ROW OF BRIGHT ORANGE CONSTRUCTION FENCING ALONG THE LIMIT OF LANDSCAPING/CONSTRUCTION DURING SILT FENCE INSTALLATION.
3. CATCH BASINS SHALL BE PROTECTED WITH SILT FENCE, STRAW BALES, OR SILT SACKS THROUGHOUT THE CONSTRUCTION PERIOD. THE STRUCTURES SHALL BE ENCLOSED COMPLETELY AT LOW POINTS. ON SLOPED AREAS THE SILT FENCE SHALL FORM A POCKET TO TRAP WATER IMMEDIATELY UPSTREAM FROM THE STRUCTURE. STABILIZATION OF GRASS AND PAVED AREAS SHALL BE COMPLETE BEFORE REMOVAL OF THE FENCE.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION UNLESS SPECIFIC PERMISSION IS OBTAINED FROM THE TOWN TO OTHERWISE PROCEED FOR SPECIFIC AREAS.
6. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH EITHER PAVEMENT, GRASS OR APPROVED GROUND COVER. CONTROL MEASURES SHALL BE INSPECTED BY THE SITE CONTRACTOR OR DESIGNATED REPRESENTATIVE, BEFORE AND AFTER ALL RAIN STORMS GREATER THAN 0.1 INCH AND WEEKLY.
7. THE PERSON RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN IS THE SITE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS, INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.
8. ADDITIONAL CONTROL MEASURES SHALL BE IMMEDIATELY INSTALLED, AS REQUIRED BY THE INTENT OF THIS PLAN AND/OR IF REQUESTED BY THE TOWN. 200 FEET OF UNUSED SILT FENCE SHALL BE KEPT AVAILABLE ON THE SITE FOR THIS PURPOSE.
9. ALL DISTURBED AREAS STOCKPILED MATERIALS SHALL BE SEEDED AS SOON AS POSSIBLE. IN THE CASE OF WINTER CONSTRUCTION, MULCH SHALL BE PLACED AND EROSION CONTROL MEASURES PLACED TO PREVENT WASHOUTS OF THE STOCKPILED MATERIAL. THE SAME REQUIREMENTS MAY BE NEEDED FOR CONSTRUCTION DURING OTHER SEASONS AS DIRECTED BY THE TOWN AND THE ENGINEER.
10. STRAW OR MULCH MATS ARE ACCEPTABLE FOR USE INSTEAD OF STRAW BALES.
11. A SCHEDULE OF PLANNED ACTIVITIES INCLUDING EROSION AND SEDIMENT CONTROL MEASURE INSTALLATION SHALL BE SUBMITTED TO THE COMMISSION. PLANNED ACTIVITIES SHALL INCLUDE PLANNED PERIODS WHEN SEEDING AND/OR PAVING WILL BE PLACED, WHEN UTILITY LINES WILL BE INSTALLED, WHEN BUILDING CONSTRUCTION WILL TAKE PLACE AND WHEN CUTTING AND FILLING WILL OCCUR.
12. REFER TO THE LANDSCAPE PLAN FOR SEEDING MIXTURES.
13. HAY MULCH SHOULD BE APPLIED AT THE RATE OF TWO TONS PER ACRE (40 BALES PER ACRE) ON AREAS TO BE LEFT BARE FOR UP TO 30 DAYS. TEMPORARY SEEDING SHOULD BE USED ON THOSE AREAS FOR MORE THAN 30 DAYS.
14. SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
15. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER/ENVIRONMENTAL PLANNER/CONSERVATION OFFICER AT LEAST TWO WORKING DAYS BEFORE THE FOLLOWING:
 - a. START OF CONSTRUCTION
 - b. COMPLETION OF CLEARING LIMIT DEMARCATION
 - c. INSTALLATION OF E&S MEASURES
 - d. COMPLETION OF SITE CLEARING
 - e. COMPLETION OF ROUGH GRADING
 - f. COMPLETION OF FINAL GRADING
 - g. CLOSE OF CONSTRUCTION SEASON
 - h. COMPLETION OF FINAL LANDSCAPING
 - i. PRIOR TO THE REMOVAL OF CONSTRUCTION E&S CONTROL MEASURES
16. ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY. CONCRETE WASHOUT ON-SITE MUST MEET THE FOLLOWING CONDITIONS:
 - a. CONCRETE TRUCK WASHOUT SHALL BE DONE IN DESIGNATED AREAS ONLY OUTSIDE OF THE INLAND WETLANDS (REFER TO AREA SHOWN ON PLANS)
 - b. CONCRETE TRUCKS SHALL BE INFORMED OF DESIGNATED WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES
 - c. CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
 - d. TEMPORARY WASHOUT AREAS SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
 - e. WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
17. COVER OR WATER TEMPORARY SOIL STOCKPILES AND SITE TO PREVENT WIND EROSION AS NEEDED.
18. SITE CONTRACTOR SHALL PROVIDE WATER AND/OR CALCIUM CHLORIDE FOR DUST CONTROL DURING CONSTRUCTION.
19. DURING CONSTRUCTION, PILES OF FILL, FRODIBLE MATERIAL AND DEBRIS SHALL NOT BE CREATED WITHIN 100 FEET OF REGULATED INLAND WETLANDS AND WATERCOURSE AREAS UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
20. ANY MATERIAL, MAN-MADE OR NATURAL, WHICH IS IN ANY WAY DISTURBED AND/OR UTILIZED DURING WORK HEREIN AUTHORIZED SHALL NOT BE DEPOSITED IN ANY WETLAND OR WATERCOURSE, EITHER ON OR OFF-SITE, UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
21. THE PERMITTEE SHALL IMMEDIATELY INFORM THE INLAND WETLANDS ENFORCEMENT OFFICER OF PROBLEMS INVOLVING SEDIMENTATION, EROSION, DOWNSTREAM SILTATION, OR ANY OTHER ADVERSE IMPACTS, WHICH DEVELOP IN THE COURSE OR CAUSED BY THE WORK HEREIN AUTHORIZED.
22. THE LOCATION OF THE TEMPORARY SEDIMENT TRAP AND WATER BARS ARE SHOWN TO MEET THE STANDARDS AND SPECIFICATIONS OF THE CT DEEP 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. THE CONTRACTOR MAY NEED TO PROVIDE ADDITIONAL SEDIMENT TRAPS AND/OR ADJUST THE LOCATION OF THE SEDIMENT TRAP BASED UPON THE CONSTRUCTION SCHEDULE AND SEQUENCE. THE CONTRACTOR SHALL REFER TO THE GUIDELINES FOR GUIDANCE.

EROSION CONTROL LEGEND

CONTROL MEASURE	ILLUSTRATION
INLET PROTECTION	
SEE T FENCE LIMIT OF DISTURBANCE	SF
CONSTRUCTION ENTRANCE	
STOCKPILE AREA	

Site Soils
SOIL TYPES REFERENCED FROM THE NATIONAL STATES DEPARTMENT OF AGRICULTURE NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY
Udarthents - Urban land Complex (HYDROLOGIC SOIL GROUP 8)



ZONING SUBMISSION
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Revision
Date January 21, 2026
Title DORM 1 & 2 - SEDIMENTATION & EROSION CONTROL PLAN
Scale 1"=30'
Drawn By HT/RR

C4.2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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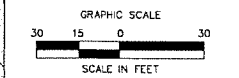
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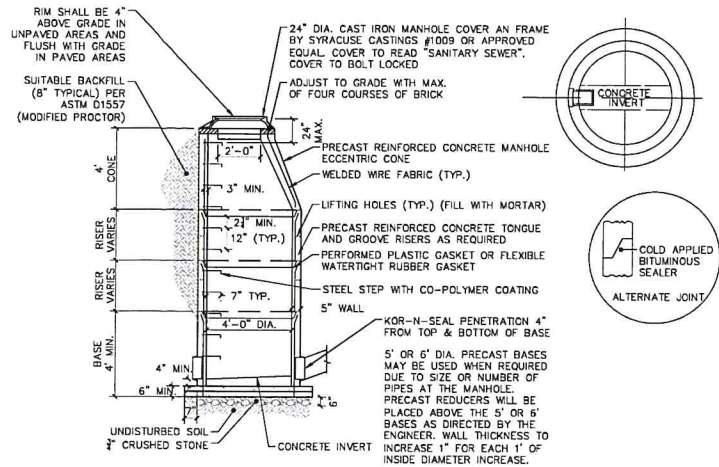
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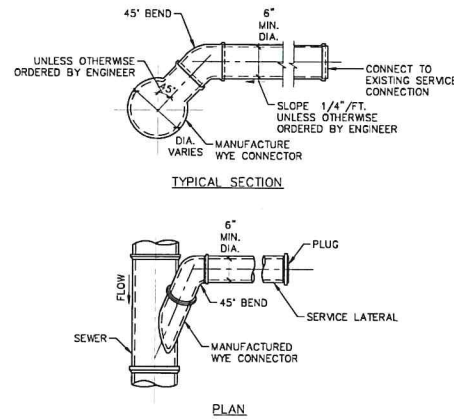
C4.3

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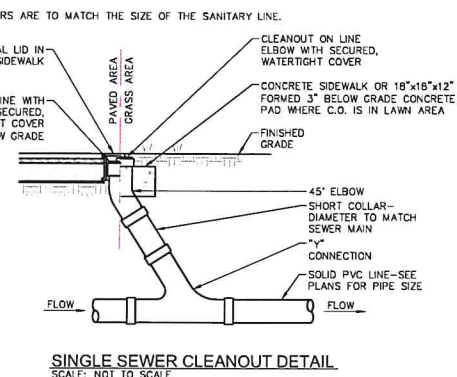


SANITARY SEWER MANHOLE DETAIL
SCALE: NOT TO SCALE

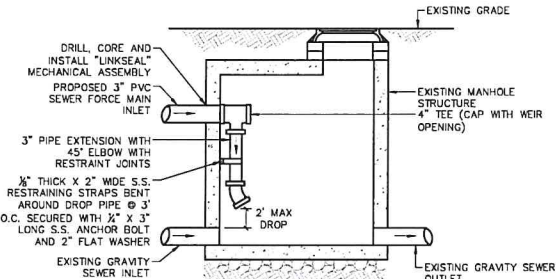


SANITARY SERVICE LATERAL CONNECTION DETAIL
SCALE: NOT TO SCALE

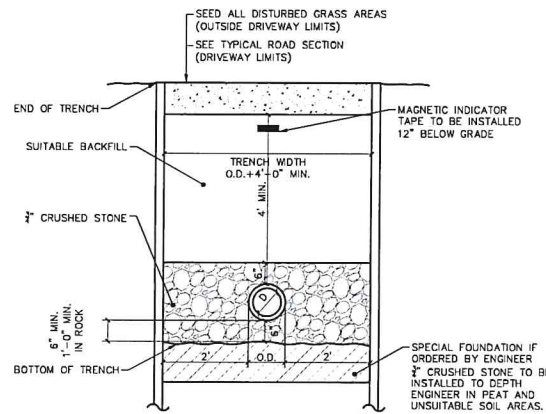
- NOTES:
1. CLEANOUTS SHALL BE INSTALLED AT 50' INTERVALS OR ANY CHANGE IN DIRECTION.
 2. ANY LOCATIONS WITHIN PAVED AREAS SHALL HAVE COVERS THAT ARE H-20 LOAD RATED. ALL COVERS WHETHER IN PAVEMENT OR GRASS SHALL BE LABELED "SEWER".
 3. ALL RISERS ARE TO MATCH THE SIZE OF THE SANITARY LINE.



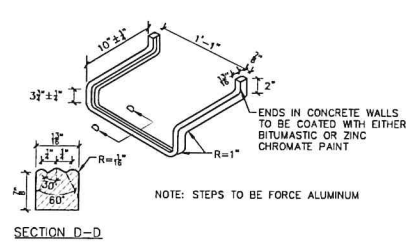
SINGLE SEWER CLEANOUT DETAIL
SCALE: NOT TO SCALE



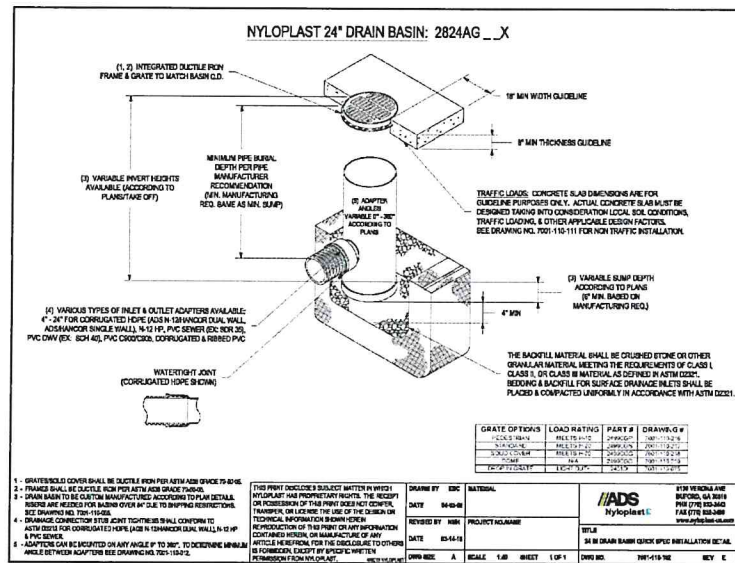
PROPOSED FORCE MAIN TO EXISTING GRAVITY SEWER MANHOLE CONNECTION DETAIL
NOT TO SCALE



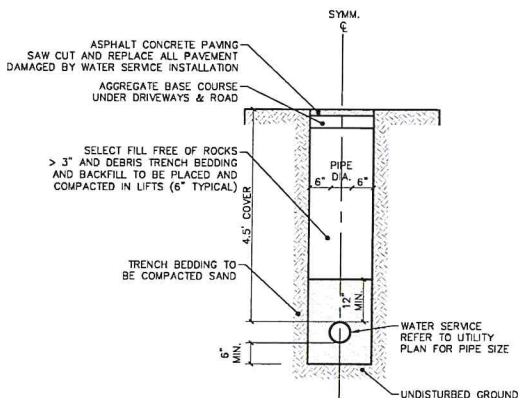
SANITARY SEWER TRENCH DETAIL
SCALE: NOT TO SCALE



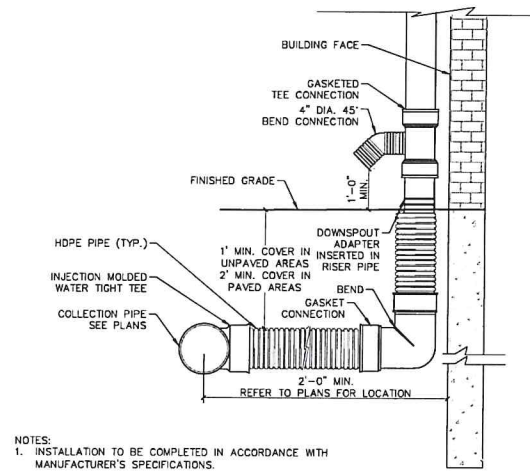
STANDARD MANHOLE STEP DETAIL
SCALE: NOT TO SCALE



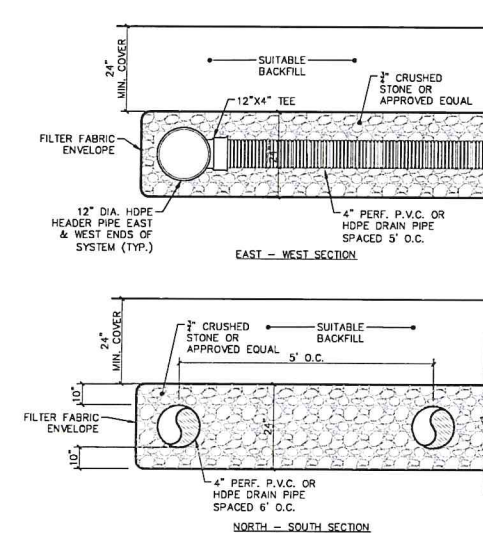
Sign Legend



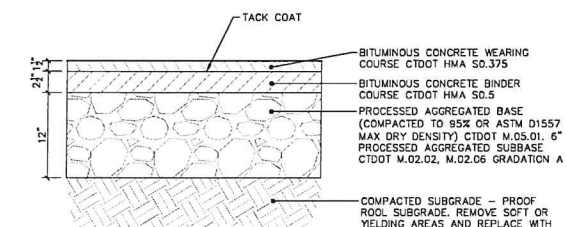
WATER SERVICE TRENCH DETAIL
SCALE: NOT TO SCALE



ROOF LEADER COLLECTION PIPE OVERFLOW DETAIL
NOT TO SCALE



UNDERGROUND STORMWATER MANAGEMENT AREA DRAINAGE DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE ACCESS DRIVE DETAIL
NOT TO SCALE



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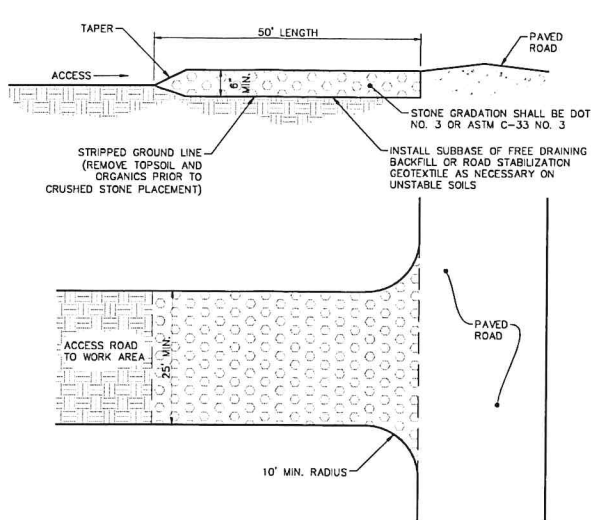
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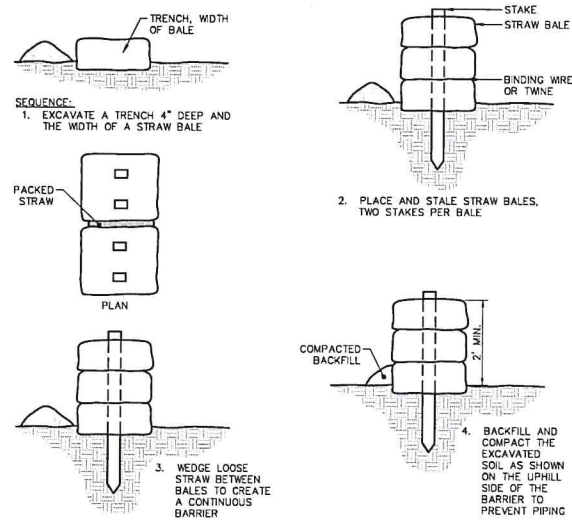
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C5.1

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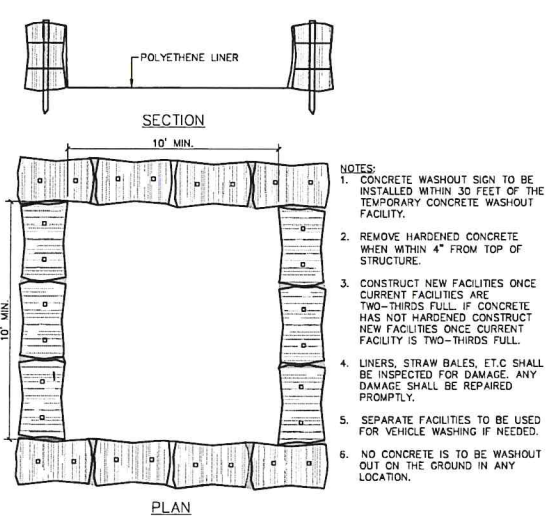


CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

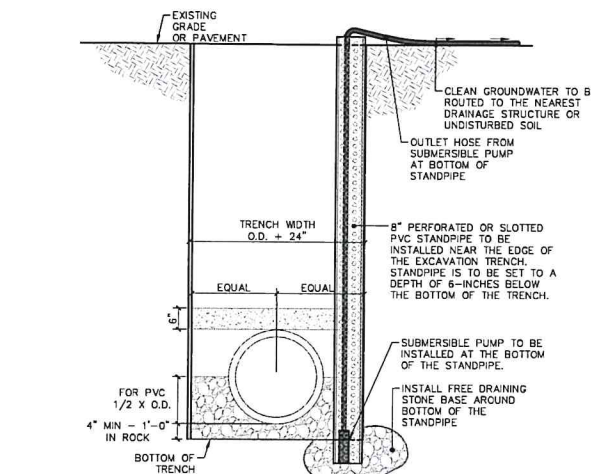


PLACEMENT AND CONSTRUCTION OF HAYBALE BARRIER
NOT TO SCALE

SEDIMENTATION CONTROL BARRIER WITH STRAW BALE
NOT TO SCALE

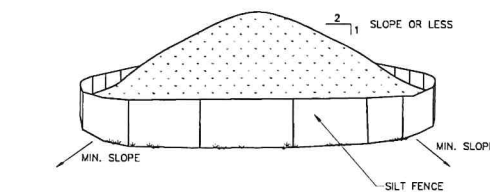


ABOVE GROUND TEMPORARY CONCRETE WASHOUT DETAIL
NOT TO SCALE



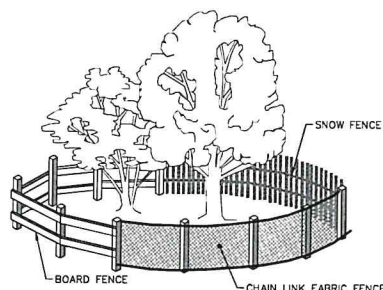
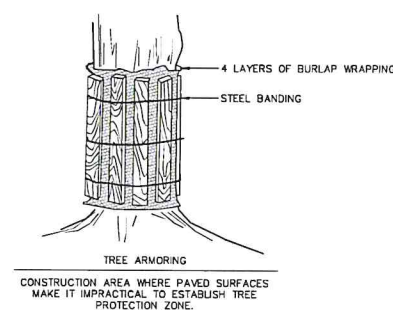
- NOTES:
1. STANDPIPE LOCATIONS ARE TO BE FIELD DETERMINED BY THE SITE CONTRACTOR ON AS NEEDED BASIS. STANDPIPES SHOULD BE INSTALLED UPSTREAM OF TRENCHING ACTIVITIES FOR A LENGTH OF TIME DEEMED SUFFICIENT TO AID IN DEWATERING THE SUBSOIL.
 2. A GAS POWERED GENERATOR WILL ALSO BE REQUIRED TO POWER THE SUBMERSIBLE PUMP.
 3. SEDIMENT LADEN GROUNDWATER SHOULD BE PUMPED TO A "DIRTBAG" OR PUMPING SETTLING BASIN TO CLEAN THE RUNOFF BEFORE DISCHARGING. CONTRACTOR TO COORDINATE WITH ENGINEER BEFORE PUMPING.

SUGGESTED TRENCH DEWATERING PRACTICE DETAIL
NOT TO SCALE

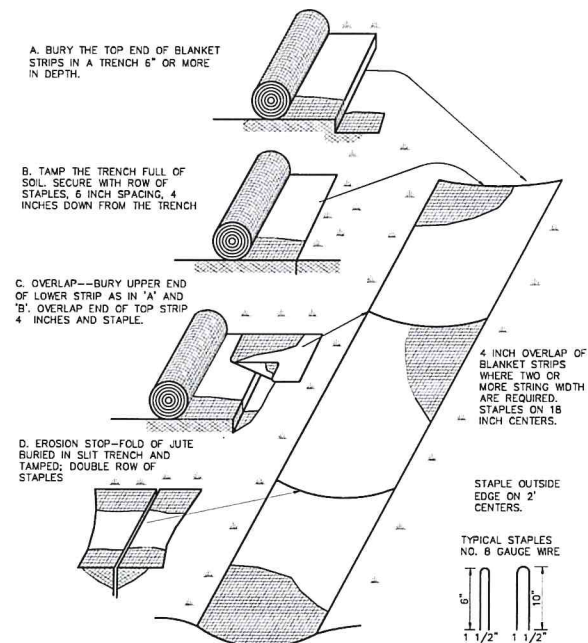


- NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
 5. HAYBALES OR SILT SOCKS TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

MATERIALS STOCKPILE DETAIL
NOT TO SCALE

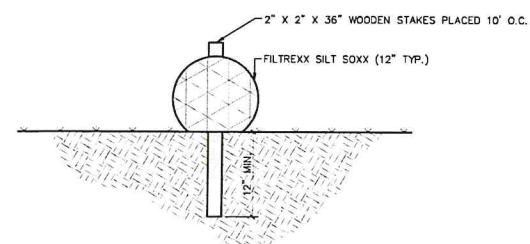


INSTALL ONE OF THE FENCE TYPES (MIN. FENCE HT. 42") NOTED ABOVE UNLESS SPECIFICALLY INDICATED ON PLANS. MAY BE INSTALLED CONTINUOUSLY AROUND GROUPS OF TREES TO REMAIN.



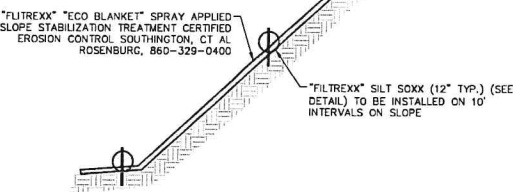
- NOTES:
1. BLANKET IS TO BE INSTALLED ON ANY FINISHED SLOPES WHERE INDICATED ON THE CONTRACT DRAWINGS OR REQUIRED BY FIELD CONDITIONS:
- EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN SC 150 OR SHALL BE A GREEN, WOOD FIBER MAT CONSTRUCTED FROM 100% ASPEN CURLLED FIBERS WITH A GREEN PHOTO-DEGRADABLE NETTING APPLIED TO ONE SIDE. EROSION CONTROL BLANKET TO BE AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, ARLINGTON, TX, "QUICK GRASS" OR APPROVED EQUAL.

EROSION CONTROL BLANKET DETAIL
NOT TO SCALE

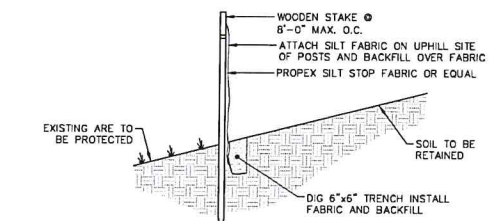


- NOTES:
1. TRANSVERSE COUNTERTRACTION JOINTS SHOULD NOT BE CONSTRUCTED AT INTERVALS OF LESS THAN 25 FEET NOR MORE THAN 75 FEET. EXPANSION AND CONSTRUCTION JOINTS SHOULD NOT BE CONSTRUCTED AT INTERVALS OF MORE THAN 50 FEET.

FILTREXX SILT SOXX DETAIL
NOT TO SCALE

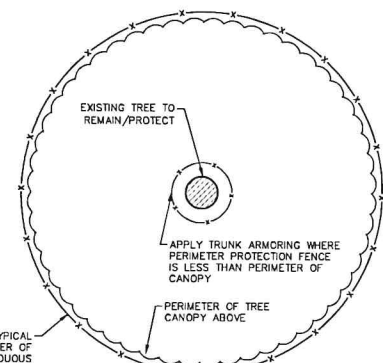


"ECOBLANKET" SLOPE STABILIZATION DETAIL
NOT TO SCALE



- NOTE: FOR SLOPES > 5:1; PERPENDICULAR WINGS PLACED EVERY 100' FOR SLOPES > 3:1 TO 5:1; PERPENDICULAR WINGS PLACED EVERY 75' FOR SLOPES > 2:1 TO 3:1; PERPENDICULAR WINGS PLACED EVERY 50'

SILT FENCE DETAIL
NOT TO SCALE



TREE PROTECTION DETAIL
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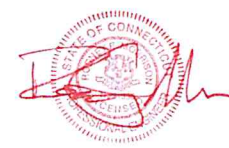
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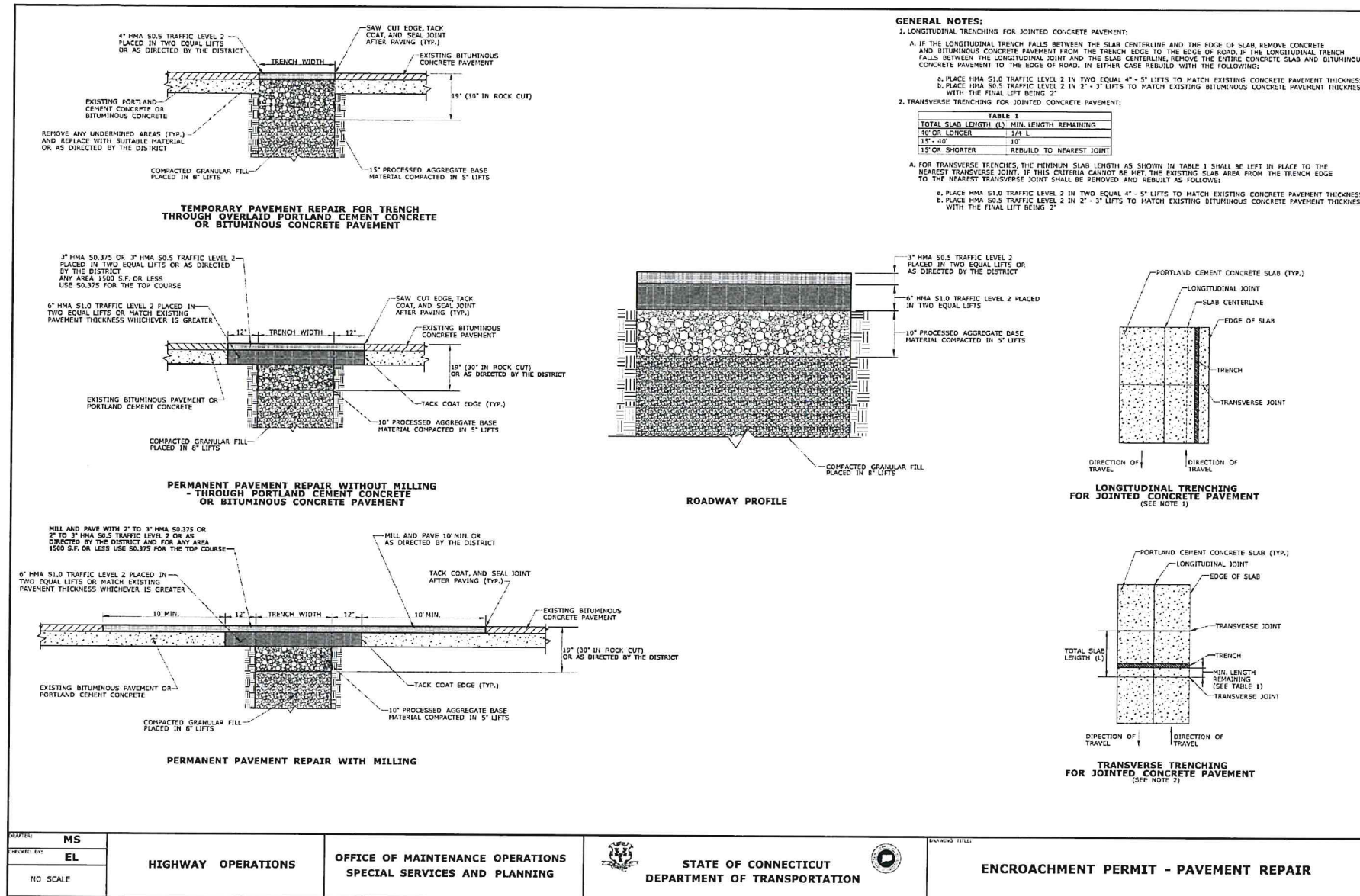
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C5.2



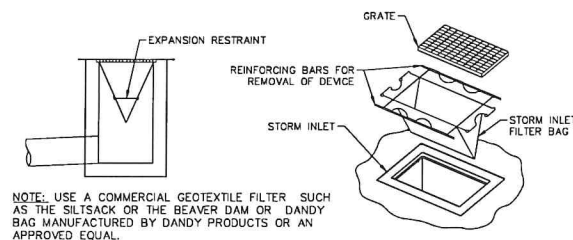
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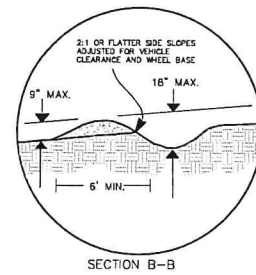
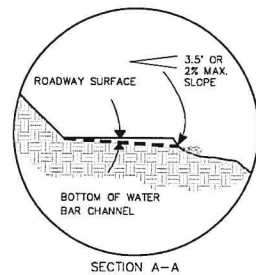
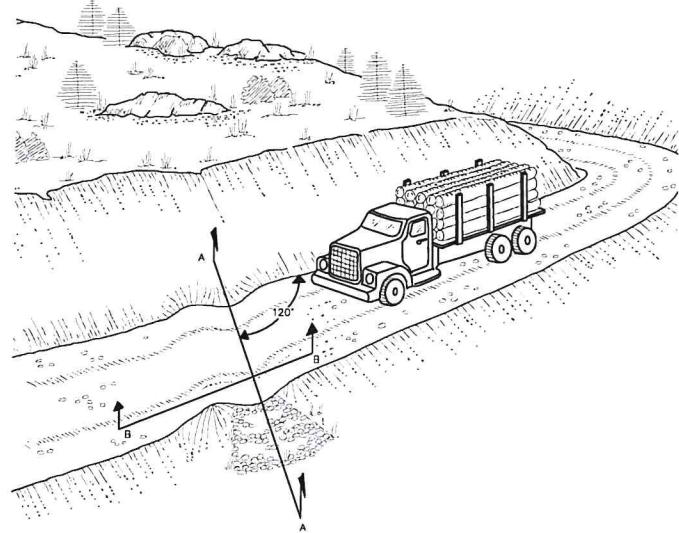
UTILITY INSTALLATIONS UNDER ENCROACHMENT PERMITS

Work performed within the Connecticut Department of Transportation's right-of-way paved roadway should be in compliance with the Standard Specifications for Roads, Bridges, Facilities and Incidental Construction; including all supplements and revisions, Encroachment Permit-Pavement Repair Drawing and other applicable standards.

Bituminous Concrete: Section 4.06	3" HMA S0.5 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR
	6" HMA S1.0 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR MATCH EXISTING PAVEMENT OR PORTLAND CEMENT CONCRETE THICKNESS, WHICHEVER IS GREATER <i>Minimum of 92% Compaction</i>
Processed Aggregate Base: Section 3.04 Spec. M.05.01	10" PROCESSED AGGREGATE BASE MATERIAL COMPACTED IN 5" LIFTS <i>Minimum of 95% Compaction</i>
Compacted Granular Fill: Section 2.14 Spec. M.02.02	PLACE IN 8" LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR <i>Minimum of 95% Compaction</i>
Bedding Material: Spec. M.08.03	Apex 1 foot of Bedding Cover
	Bedding MAIN Bedding/Stone



SILT SACK DETAIL
NOT TO SCALE



WATER BAR DETAIL
NOT TO SCALE

PROJECT: MS DRAWN BY: EL NO. SCALE	HIGHWAY OPERATIONS	OFFICE OF MAINTENANCE OPERATIONS SPECIAL SERVICES AND PLANNING	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	ENCROACHMENT PERMIT - PAVEMENT REPAIR
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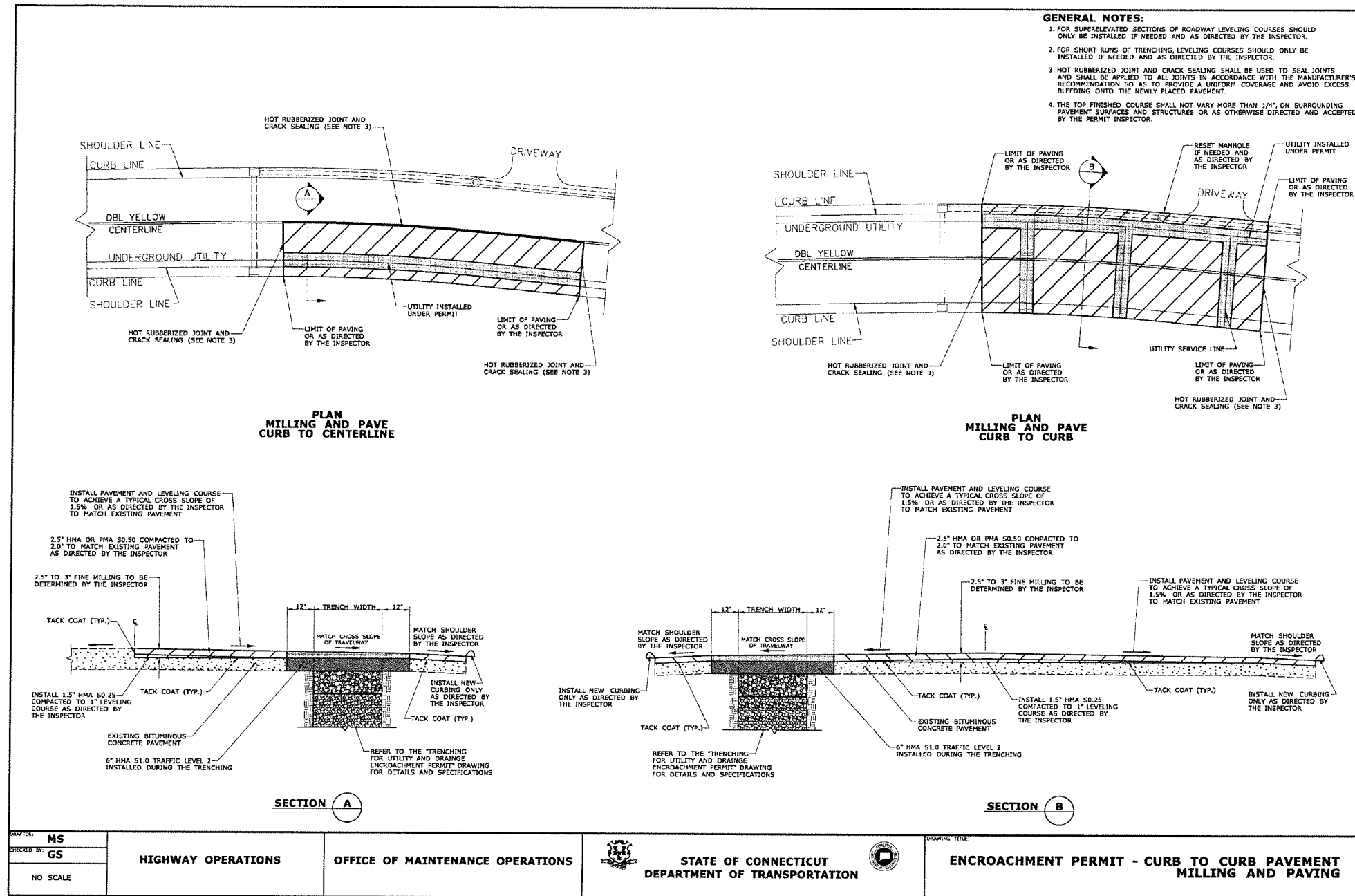
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C5.3

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GENERAL NOTES:

- FOR SUPERELEVATED SECTIONS OF ROADWAY LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
- FOR SHORT RUNS OF TRENCHING, LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
- HOT RUBBERIZED JOINT AND CRACK SEALING SHALL BE USED TO SEAL JOINTS AND SHALL BE APPLIED TO ALL JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION SO AS TO PROVIDE A UNIFORM COVERAGE AND AVOID EXCESS BLEEDING ONTO THE NEWLY PLACED PAVEMENT.
- THE TOP FINISHED COURSE SHALL NOT VARY MORE THAN 1/4" ON SURROUNDING PAVEMENT SURFACES AND STRUCTURES OR AS OTHERWISE DIRECTED AND ACCEPTED BY THE PERMIT INSPECTOR.

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CONSTRUCTION TIME SCHEDULE

- The construction of the proposed site improvements required on the lot will take approximately 12 months to complete. Start construction as soon as possible (Summer 2026).
- All erosion control measures shall be in place and inspected prior to start of construction.
- STOCKPILE AREAS:** Loom and fill stockpile areas shall be seeded per the temporary seeding schedule as soon as possible with minimal disturbance after that time, until the material is required for final installation. All areas of the site not finished graded shall be seeded per the temporary seeding schedule.

CONSTRUCTION SEQUENCE

- Contact the Town of Waterbury at least 48 hours prior to commencement of construction activities.
- Clear and grub the area for building, access drive and parking area construction. Stockpile topsoil.
- Install construction entrance.
- Install all fence around perimeter of the project, limit of disturbance.
- Stockpile topsoil to raise in final landscaping.
- Install double row of silt fence around stockpile areas.
- Construct temporary sediment trap and water bars for use during construction.
- Begin site grading. Construct Rain Gardens and install proposed storm drainage.
- Begin site grading for the construction of the buildings.
- Begin construction of the retaining walls.
- Begin construction of buildings, access drive, parking area and quad area storm drainage.
- Install proposed utilities, septic system & well.
- Install bituminous concrete binder course, concrete and bituminous concrete curb.
- Install gutter.
- Place topsoil, seed, fertilizer and mulch in accordance with the permanent seeding schedule on all disturbed areas. Install landscaping.
- Install pavement markings and signage.
- Erosion and sediment control measures shall be removed following stabilization of the site.

WETLANDS APPLICATION DATA

- The project consists of the construction of a two residential dorm buildings, parking areas, access drive, site lighting, storm drainage, utilities and landscaping for the campus.
- The drainage system consists of yard drains, pipes, an underground stormwater management system for the roof water runoff and an excavated stormwater management area for parking area and access drive runoff. The systems are designed to accommodate the increase in runoff from the proposed development due to the change in surface coverage (grass to impervious or woods to impervious). The systems are designed to attenuate the proposed stormwater runoff to resemble the predevelopment flow characteristics for all of the storms analyzed (2, 10, 25 and 100 year).
- The wetlands were delineated by David Lord and field located by Land Resource Consultants Engineering & Engineering LLC.
- The project area contains approximately 6.37 acres of land. An area of inland wetlands exists adjacent to the project area (existing pond) equals 41,242 square feet (0.95 acres). The upland review area disturbance for the proposed site grading and the construction of a walking path equals 32,615 square feet (0.75 acres).

ZONING SUBMISSION
NOT FOR CONSTRUCTION

Revision
Date January 21, 2026
Title DORM 1 & 2 -
CONSTRUCTION DETAILS
Scale AS NOTED
Drawn By HT/RR

C5.4

Student Dormitory
The Taft School
110 Woodbury Rd
Waterbury, CT 06795

1.0 POST CONSTRUCTION INSPECTION & MAINTENANCE

Post-construction, regularly scheduled inspections and maintenance will be necessary to ensure the permanent structural features such as the stormwater management area, rain gardens and the stormwater conveyance system components remain operationally functional and continue to reduce the risk of sediment loading of inland wetlands and surface water bodies.

When construction is complete, the Contractor will remain responsible for the site until the entire site has reached final stabilization. The site is considered stabilized when all soil disturbing activities have been completed and a full uniform, perennial vegetative cover has been established or equivalent stabilization measures such as the use of mulches or geotextiles have been employed on all exposed areas and areas not covered by permanent structures. Weekly inspections should continue until the site has reached this point. Additionally, visual inspections should be performed after every rain event of 0.5 inches or more in 24-hours for the lifetime of the permanent stormwater control measures.

At the time of final stabilization, the Owner's Engineer shall perform a final inspection of the site and certify that the site has successfully undergone final stabilization using either vegetative or structural stabilization methods and that all temporary erosion and sediment controls such as silt fence, not needed for long term use, have been removed. At this point, the Owner is responsible for the following:

- The project construction shall disturb between one and five acres and adhere to the erosion and sediment control land use regulations of the municipality in which the construction activity is conducted. No registration to CTDEEP is required provided that a use commission of the municipality reviews and issues a written approval.
- Identify all the permanent stormwater management structures that have been constructed. Land Owner shall familiarize himself with the maintenance requirements for the stormwater management area and the stormwater conveyance system components included herein.
- Certify that the permanent structures have been constructed in accordance with the approved plans

and manufacturers recommendations and requirements.

The Land Owner shall overtake responsibility of inspecting and maintaining drainage and erosion control features over the lifetime of the structures. Maintenance personnel, employed by the Land Owner, must be aware of the operation and maintenance of the stormwater conveyance system and should be trained to recognize signs that stabilization measures may not be performing optimally or are failing. The inspection of on-site stabilization measures will become part of routine preventative maintenance practiced by the Land Owner. Inspections should be performed after rain events of 0.5 inches or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and at a minimum of twice per year (April 1st and Nov 1st). Inspections and maintenance should be performed as described below within this section.

1.1 Inspection

Overall Site Inspection

The overall site, embankments, vegetation and stormwater conveyance system components including stormwater management area, outlet structure, outlet pipes, catch basin sumps, rain gardens, culverts and swales should be inspected after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov 1st). The inspections should include but are not limited to:

- Density and condition of vegetation and ground cover.
- Erosion, differential settlement or cracking of embankment.
- Bulging or sliding of toe of embankments.
- Sedimentation of on-site or downstream water bodies.
- Sedimentation of culverts or swales.
- Sedimentation of lawn areas, paved areas, or catch basin sumps. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
- Damage or fatigue of storm sewer structures or associated components.
- Accumulation of sediment and debris at paved

catch basin grates. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Hooded outlets shall be visually inspected for damage. Repair or replace as necessary.

1.2 Maintenance

Overall Site Maintenance

Maintaining vegetative and structural measures for soil protection is necessary to keep the storm water conveyance system functioning properly. Maintenance should occur after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov 1st), and should include but is not limited to:

Seasonal Maintenance

- Vegetated areas should be maintained to promote vigorous and dense growth. Lawn areas should be mowed at least three times a year but may require more frequent mowings depending on the growth rate.
- Accumulation of litter and debris should be removed during each mowing or sweep operation. Parking Area and Access Drive Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
- Structural components of the storm sewer system such as culverts (including sumps) which require repair or replacement should be addressed immediately following identification. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Outlet control structures shall be inspected annually between May 1st and September 15th. Debris and sediment within the structures shall be removed annually.

Swale and drainageway maintenance will include periodic mowing, occasional spot reseeded and weed control. Weeds and woody plants should be eradicated or cut back since they reduce the efficiency of the drainageway.

Winter Maintenance

- Remove snow and ice from catch basin grates and rain gardens.
- Snow removed from paved areas should not be piled at rain gardens or on the catch basin grates.
- Use of deicing materials should be limited to sand and environmentally friendly chemical products. Use of sand environmentally friendly products should be kept to a minimum. Environmentally friendly products shall consist of calcium magnesium acetate, calcium chloride or magnesium chloride.
- Sand used for deicing should be clean, coarse material free of fines, silt, and clay.
- Materials used for deicing should be removed during the early spring by sweeping and/or vacuuming. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.

CONSTRUCTION TIME SCHEDULE

- The construction of the proposed site improvements required on the lot will take approximately 12 months to complete. Start construction as soon as possible (Summer 2026).
- All erosion control measures shall be in place and inspected prior to start of construction.
- STOCKPILE AREAS:** Loom and fill stockpile areas shall be seeded per the temporary seeding schedule as soon as possible with minimal disturbance after that time, until the material is required for final installation. All areas of the site not finished graded shall be seeded per the temporary seeding schedule.

CONSTRUCTION SEQUENCE

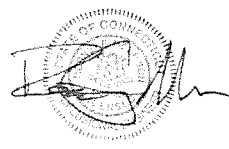
- Contact the Town of Waterbury at least 48 hours prior to commencement of construction activities.
- Clear and grub the area for building, access drive and parking area construction. Stockpile topsoil.
- Install construction entrance.
- Install all fence around perimeter of the project, limit of disturbance.
- Stockpile topsoil to raise in final landscaping.
- Install double row of silt fence around stockpile areas.
- Construct temporary sediment trap and water bars for use during construction.
- Begin site grading. Construct Rain Gardens and install proposed storm drainage.
- Begin site grading for the construction of the buildings.
- Begin construction of the retaining walls.
- Begin construction of buildings, access drive, parking area and quad area storm drainage.
- Install proposed utilities, septic system & well.
- Install bituminous concrete binder course, concrete and bituminous concrete curb.
- Install gutter.
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ZONING SUBMISSION
NOT FOR CONSTRUCTION

Revision
Date January 21, 2026
Title DORM 1 & 2 -
CONSTRUCTION DETAILS
Scale AS NOTED
Drawn By HT/RR



C5.4

Contractor to verify all dimensions, in field and storm Architect of any discrepancies before starting work.



**Student Dormitory
The Taft School**

110 Waterbury Rd
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MEP ENGINEER
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CIVIL ENGINEER
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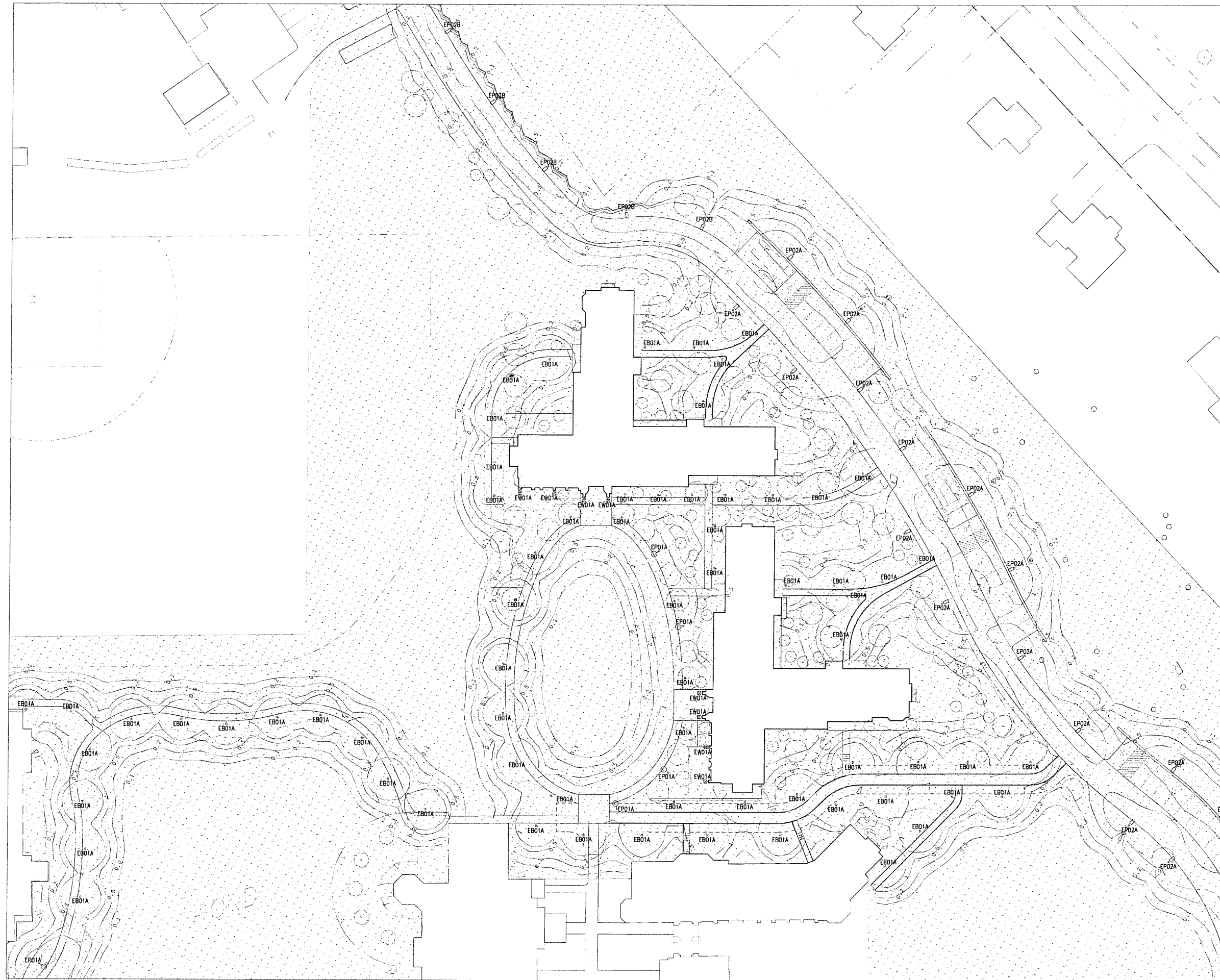
LIGHTING DESIGN
O'Donoghue Lighting
1816 S 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZENAC SUBMISSION
NEE PER CONSTRUCTION**
Revision
Date January 21, 2026
Title Site Lighting Plan

Scale 1" = 60'-0"
Drawn By JOD

LI-1.0

Contractor to verify all dimensions in field and inform architect of any discrepancies before starting work



**Student Dormitory
The Taft School**

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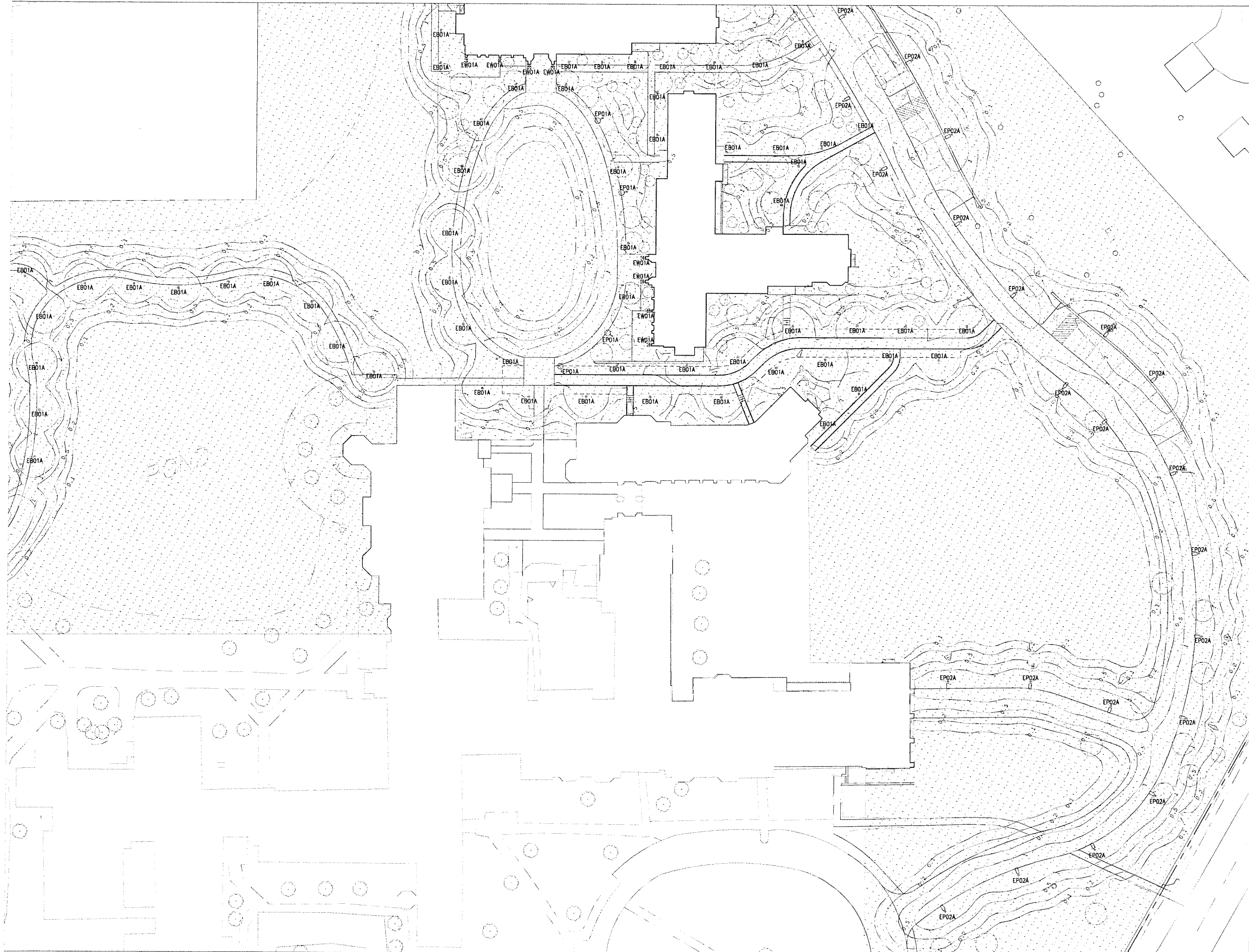
REVISION SUBMITTAL

Revision	Date	Title
1	January 21, 2026	North Site Lighting Plan Photometry

Scale 1" = 30'-0"
Drawn By JOD

LI-1.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



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REVISION SUBMITTAL
NET FOR CONSTRUCTION
Revision
Date January 21, 2026
Title South Site
Lighting Plan
Photometry

Scale 1" = 30'-0"
Drawn By JOD

LI-1.2

Contractor to verify all dimensions on field and inform
Architect of any discrepancies before starting work

